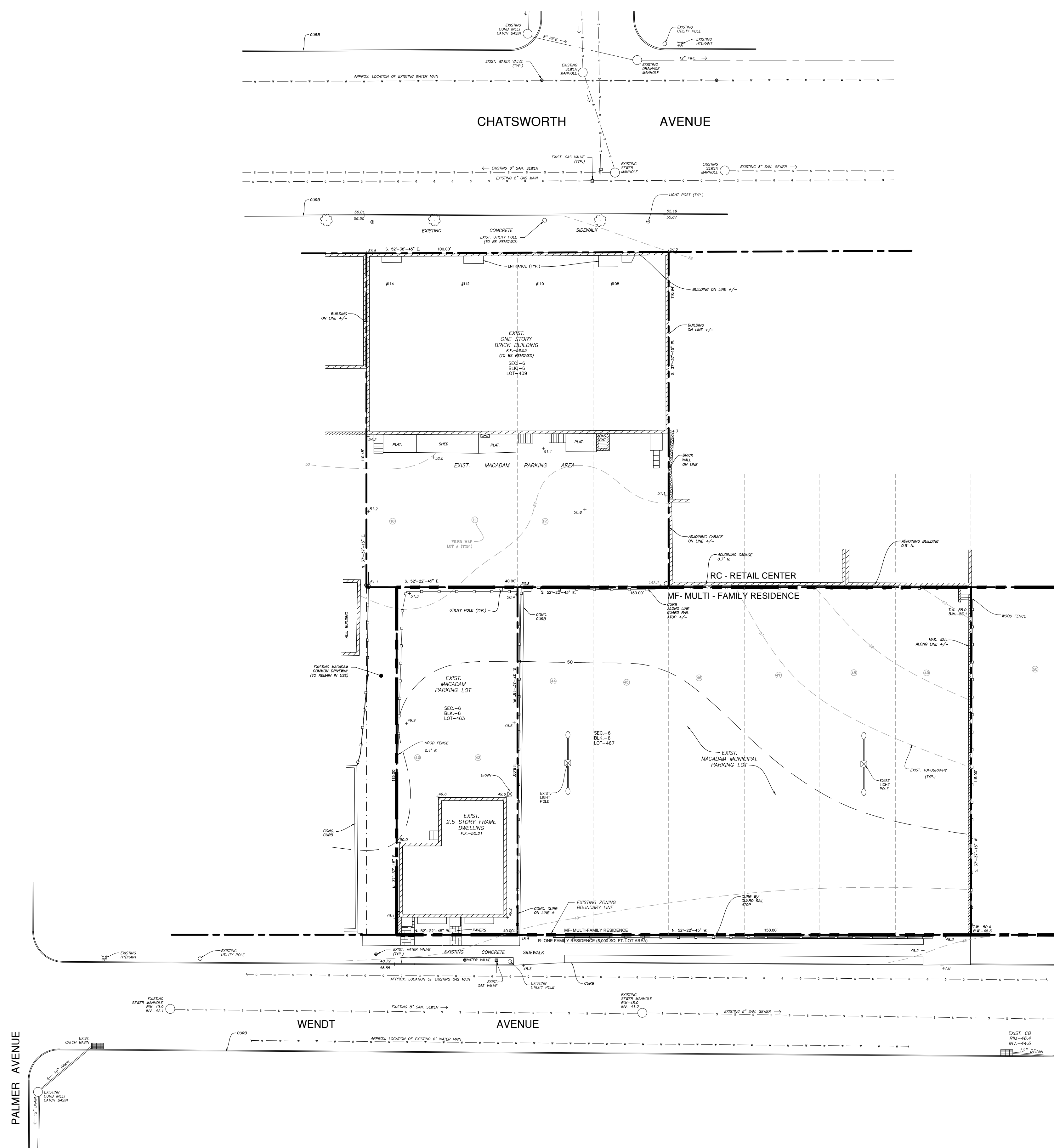
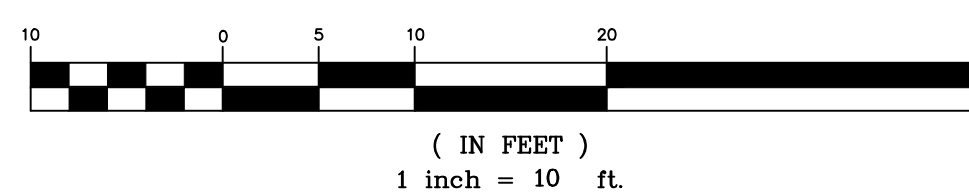


LOCATION MAP
SCALE: 1" = 200'



PLAN

GRAPHIC SCALE



LEGEND

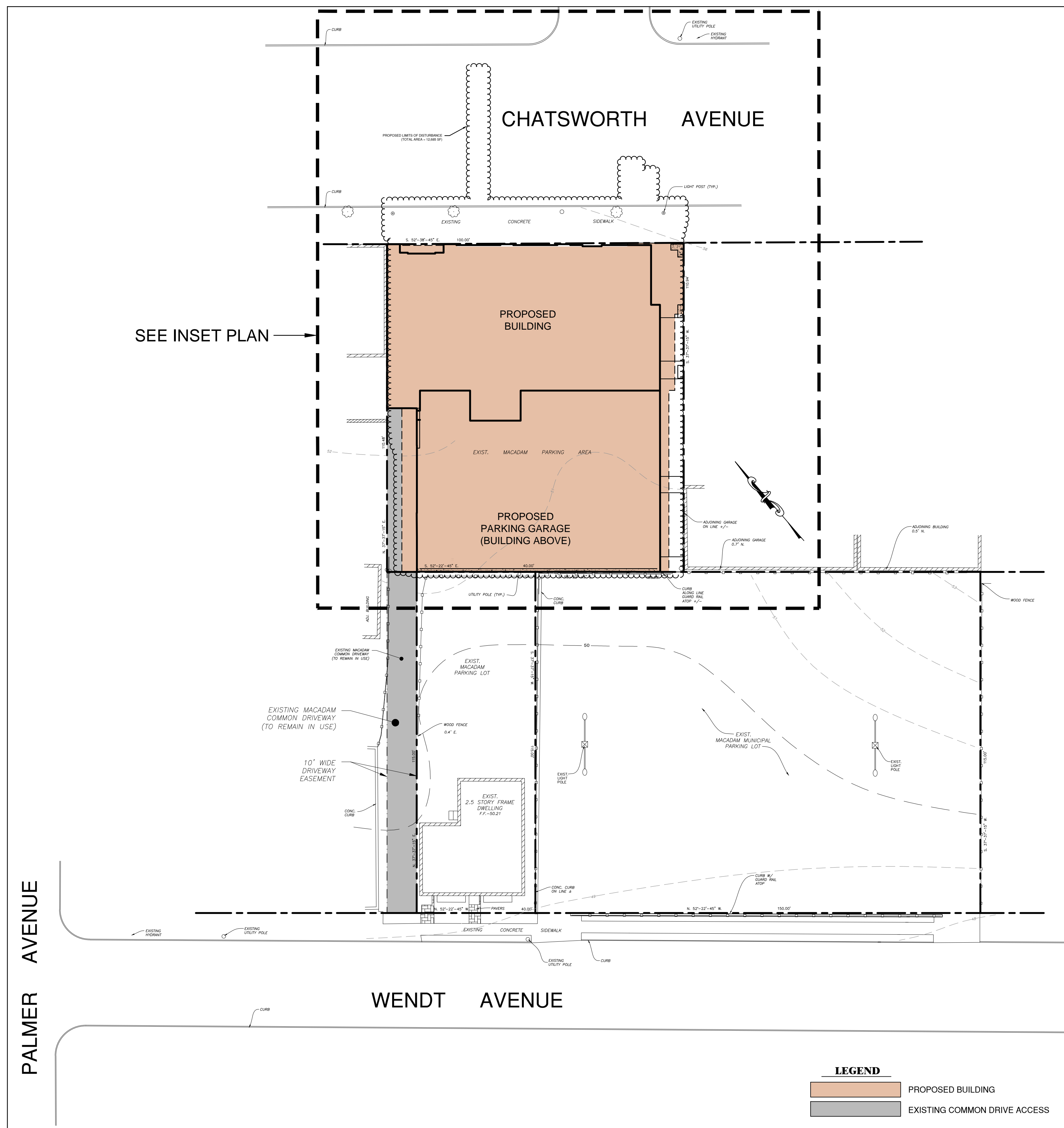
- EXISTING PROPERTY LINE
- EXISTING 10' CONTOUR
- EXISTING 1' CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING TREE
- ADJACENT STRUCTURES
- EXISTING SANITARY SEWER LINE
- EXISTING NATURAL GAS LINE
- EXISTING WATER LINE
- EXISTING STORM DRAIN PIPE

SITE DATA	
PARCEL INFORMATION	TAX I.D. (SEC. - BLK. - LOT): 6-6-409
	PROPERTY ADDRESS: 108-114 CHATSWORTH AVENUE
	OWNER: ELK CHATSWORTH LP 431 THEODORE FREMONT AVE - SUITE 201 RYE, NY 10580
	LOT AREA: 11,000 FT ² (0.25 AC) +/-
	ZONING DISTRICT: RC - RETAIL CENTER
APPLICANT:	ELK CHATSWORTH LP 411 THEODORE FREMONT AVE - SUITE 201 RYE, NY 10580
SURVEYOR:	STEPHEN F. HOPPE, L.S. 111 ROUTE 303 TAPPAN, NY 10983

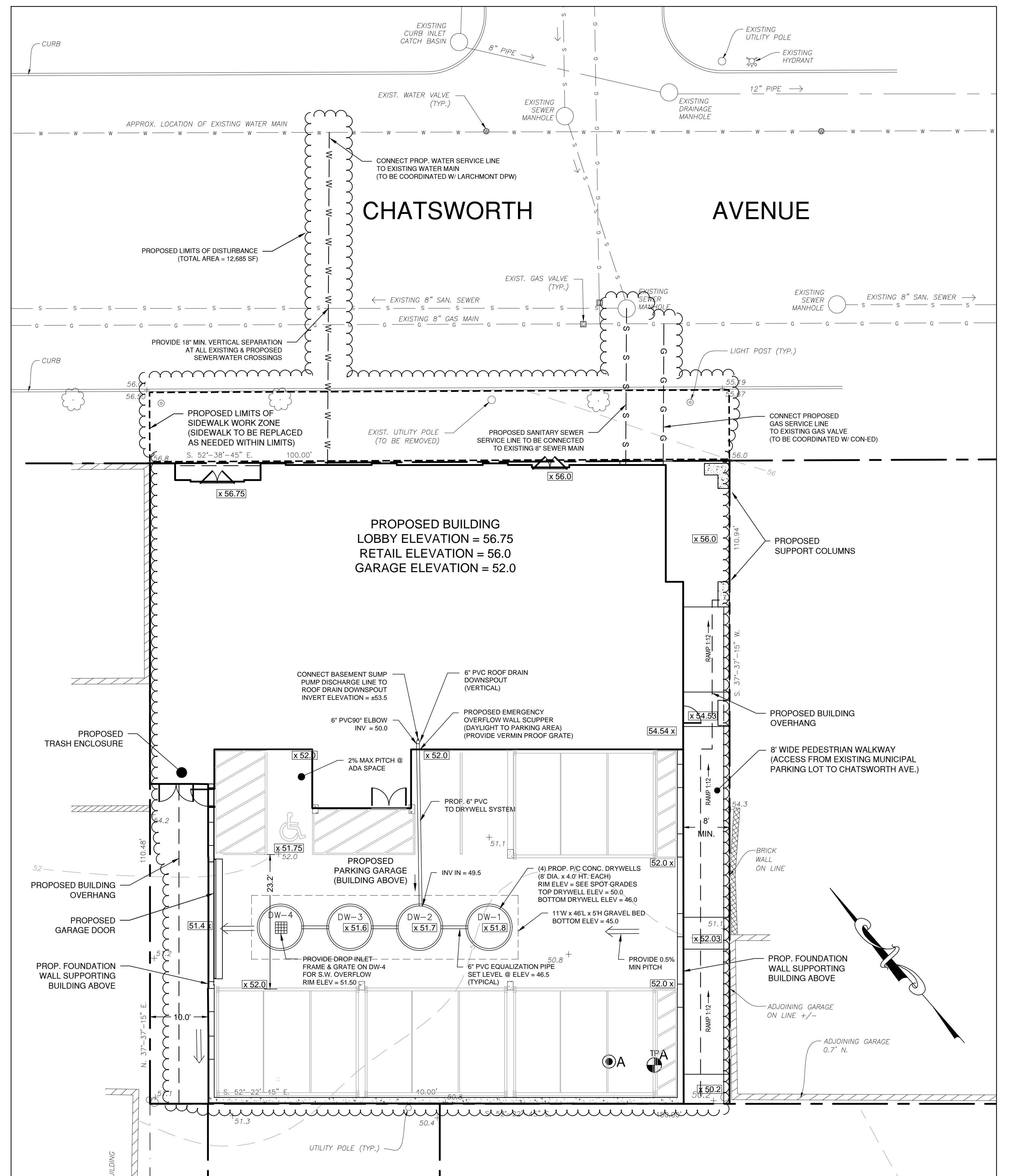
REVISIONS	DATE	DESCRIPTION	BY/CHK	DATE	DESCRIPTION	BY/CHK
4-18-19	REVISED BASEMENT PLAN	DK/NG	4-30-20	VILLAGE SUBMISSION		NG/TA
9-9-19	VILLAGE COMMENTS	DK/NG	7-24-20	VILLAGE COMMENTS		NG/TA
2-21-20	NEW BUILDING & DRAINAGE LAYOUT	NG/TA				

	EXISTING CONDITIONS PLAN	DATE:	3-13-19
	ELK CHATSWORTH LP	SCALE:	1" = 10'
	108-114 CHATSWORTH AVENUE TOWN OF LARCHMONT, WESTCHESTER COUNTY, NY	FILE:	4H
		DSGN / CHK:	RH/NG
		DRN. BY:	RH
		SHT NO.:	1 OF 6
		DWG NO.:	EX-1

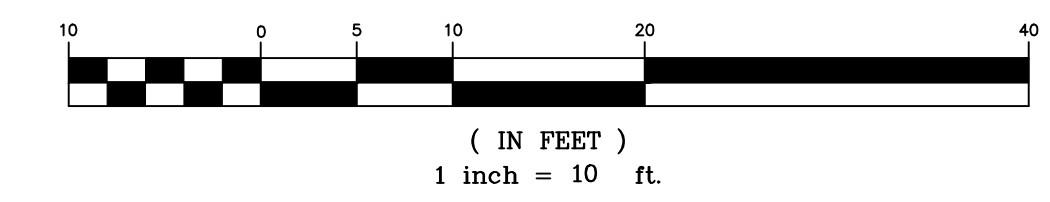
UNAUTHORIZED ALTERATIONS AND ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 2209 (2) OF THE NEW YORK STATE EDUCATION LAW.



SITE LAYOUT
SCALE: 1" = 20'



INSET PLAN
GRAPHIC SCALE



ESTIMATED EARTHWORK

TOTAL CUT = ± 120 CY (DRYWELL EXCAVATION)

TOTAL FILL = ± 55 CY (PARKING LOT REGRADING)

EARTHWORK BALANCE = -65 CY EXCESS CUT

STORMWATER SOIL INFILTRATION RATES		STORMWATER SOIL DEEP TEST RESULTS				
SW PRACTICE I.D.	INFILTRATION RATE (INCHES PER HOUR)	TEST PIT I.D.	DESCRIPTION	FULL DEPTH	DEPTH TO LEDGE ROCK	DEPTH TO GROUND WATER
TPA	8 IN/HR	TPA	6" PAVEMENT, 12" COMPACTED PAVEMENT BASE, 12" ORANGE/BROWN FINE SANDY LOAM, 104" BROWN/GREY SANDY LOAM WITH SOME SILT MODERATE COMPACTION.	11'-2"	-	10'-2"

DEEP TEST PITS BY: ALFREDO SITE DEVELOPMENT
WITNESSED BY: BIBBO ASSOCIATES, LLP
DATE OF TESTING: 09/5/2019

SEQUENCE OF CONSTRUCTION

- CORDON OFF CONSTRUCTION AREA WITH TEMPORARY CONSTRUCTION FENCING AND INSTALL EROSION CONTROLS AS SHOWN ON THE PLANS.
- REMOVE EXISTING STRUCTURES FROM THE SITE.
- ROUGH GRADE SITE AND BEGIN EXCAVATION FOR BUILDING SUPPORTS AND FOUNDATION. SEE APPROVED ARCHITECTURAL PLANS FOR BUILDING CONSTRUCTION DETAILS.
- INSTALL DRAINAGE STRUCTURES AND STORMWATER PIPING.
- INSTALL SITE UTILITIES AS SHOWN ON THE APPROVED PLANS.
- CONTINUE CONSTRUCTION OF BUILDING.
- FINAL GRADE PARKING AREA, WALKWAY, AND SIDEWALKS. PAVE PARKING AREA AND PAINT ALL REQUIRED MARKINGS.
- REMOVE EROSION CONTROL MEASURES ONCE FINAL STABILIZATION IS ACHIEVED.

SITE PLAN NOTES:

- LOCATIONS OF EXISTING PUBLIC UTILITIES FROM MAPS PROVIDED BY THE VILLAGE OF LARCHMONT DEPARTMENT PUBLIC WORKS. CONTRACTOR SHALL VERIFY THE LOCATION AND CONDITION OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND NOTIFY THE PROJECT ENGINEER AND VILLAGE CONSULTING ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
- THE INSTALLED SUBSURFACE STORMWATER INFRASTRUCTURE SHALL BE INSPECTED BY THE VILLAGE OR ITS DELEGATED CONSULTANTS PRIOR TO BACKFILL.

CALL BEFORE YOU DIG 1-800-962-7962

UNDER THE NY STATE LAW PROTECTING UNDERGROUND FACILITIES, THE FOLLOWING RULES AND REGULATIONS ARE IN EFFECT FOR ALL EXCAVATORS:

- THEY MUST CALL FOR A UTILITY STAKE-OUT (S) TWO FULL WORKING DAYS PRIOR TO AN EXCAVATION.
- THEY MUST CONFIRM PRECISE LOCATIONS OF UNDERGROUND FACILITIES.
- THEY MUST PRESERVE STAKES AND MARKINGS UNLESS THEY ARE NOT NEEDED AT SITE.
- THEY MUST CONTACT NON-PROFESSIONAL UTILITY OWNERS FOR STAKE-OUTS.

REVISION	4-18-19	REVISED BASEMENT PLAN	DKING	4-30-20	VILLAGE SUBMISSION	NG/TA
	9-9-19	VILLAGE COMMENTS	DKING	7-24-20	VILLAGE COMMENTS	NG/TA
	3-11-20	NEW BUILDING & DRAINAGE LAYOUT	NG/TA			
DATE:	DESCRIPTION	BY/CK	DATE:	DESCRIPTION	BY/CK	

SITE PLAN

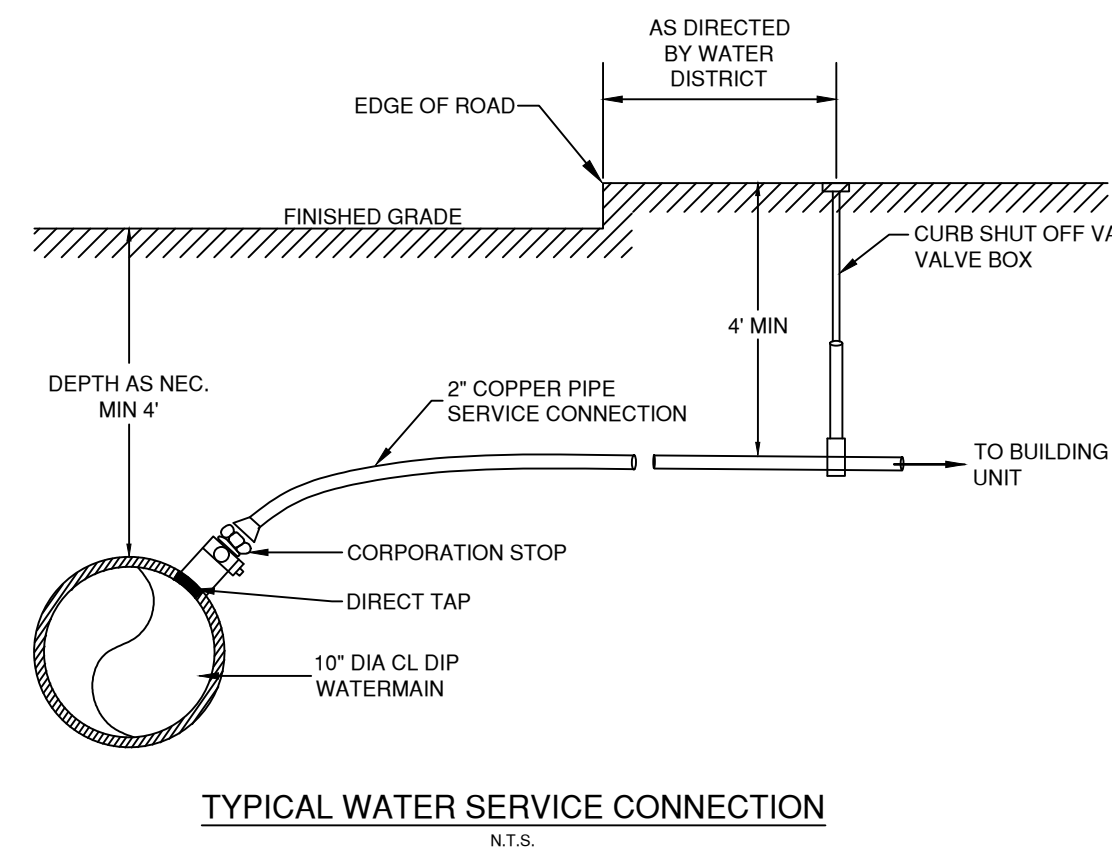
ELK CHATSWORTH LP
108-114 CHATSWORTH AVENUE
TOWN OF LARCHMONT, WESTCHESTER COUNTY, NY

BIBBO ASSOCIATES, LLP
283 ROUTE 100 SUITE 203
SOMERS, NEW YORK 10589
TEL. 914 277 5805

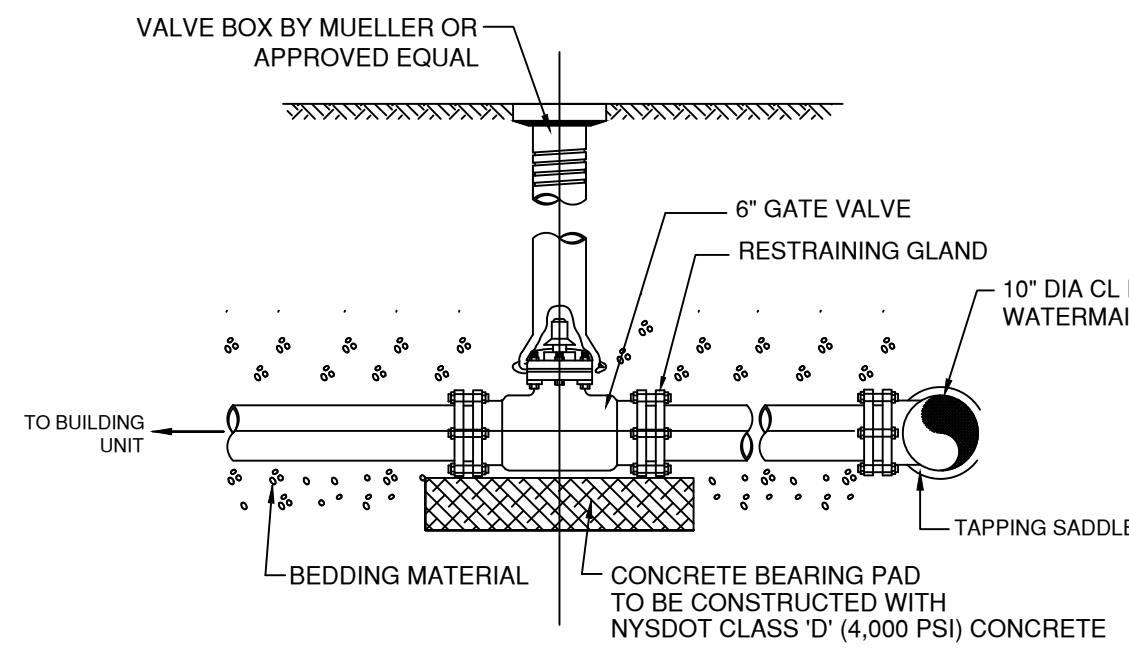
DATE: 3-13-19
SCALE: 1" = 10'
FILE: 4H
DSGN / CHK: RHNG
DRN. BY: RH
SHT NO. 2 OF 6
DWG NO. **SP-1**

UNAUTHORIZED ALTERATIONS AND ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

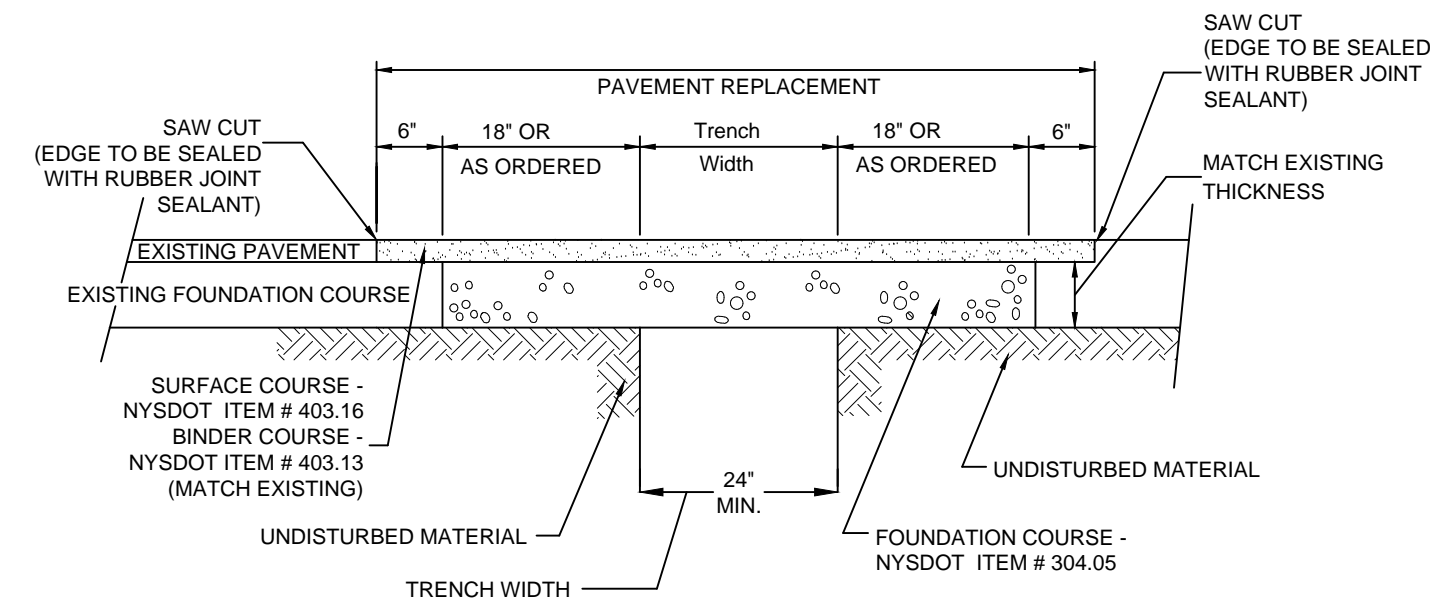
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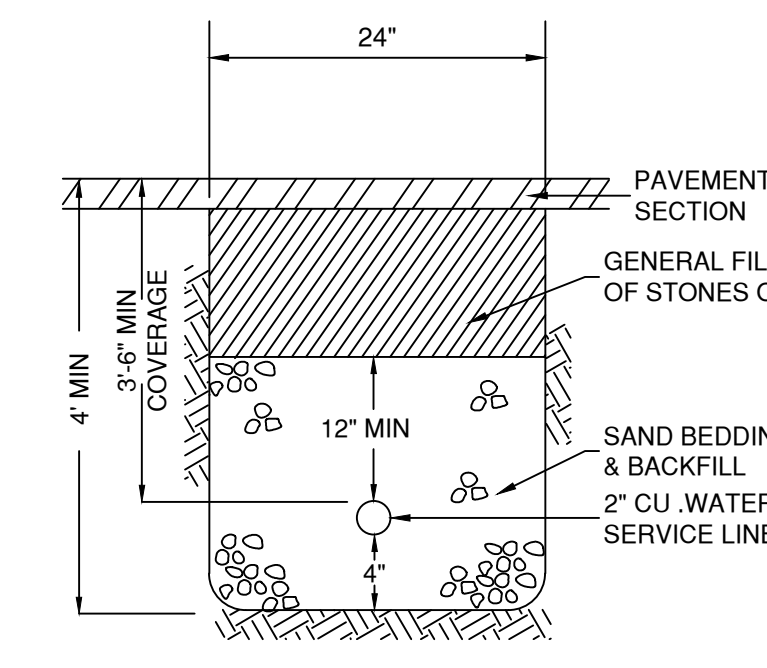
TYPICAL WATER SERVICE CONNECTION
N.T.S.



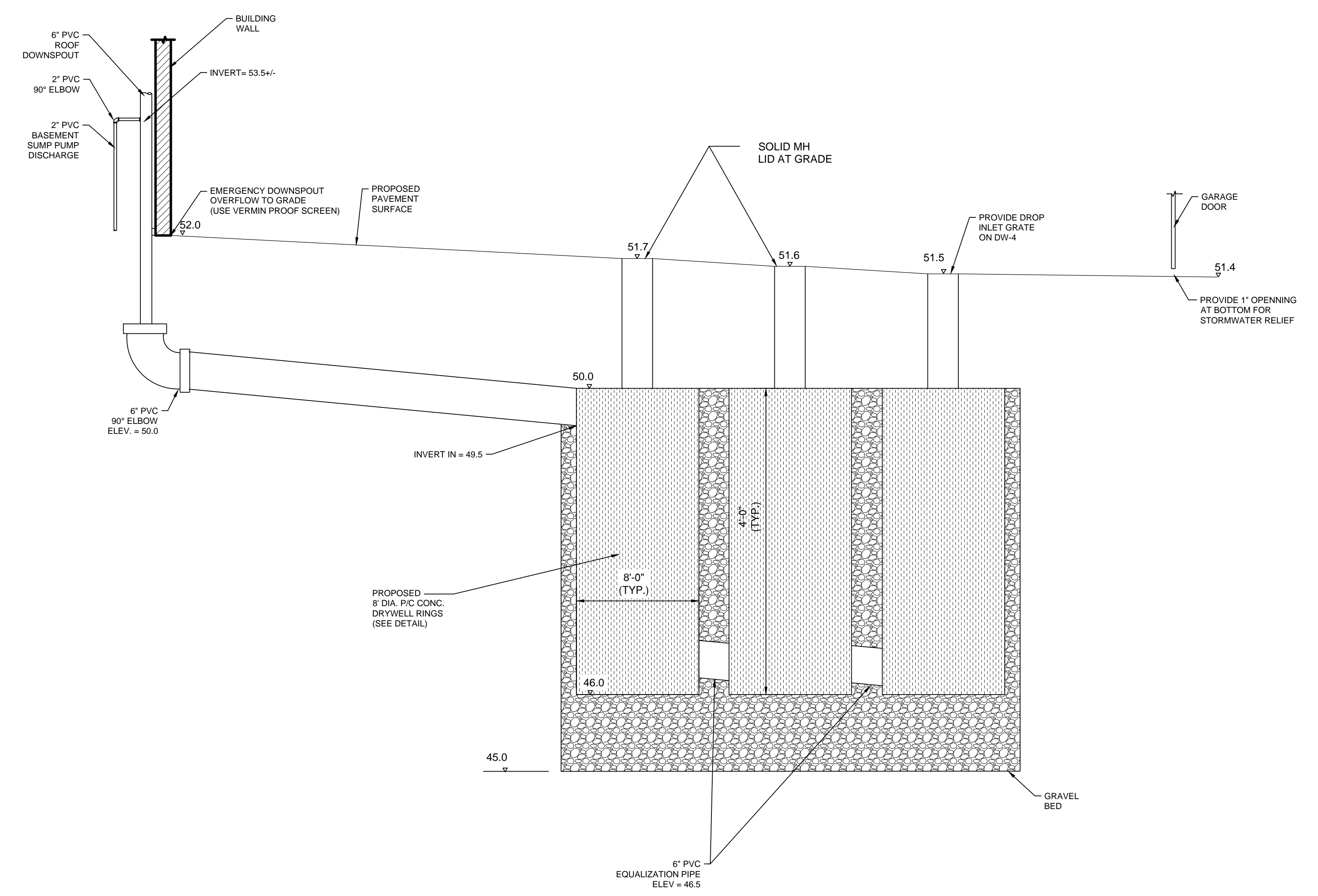
TYPICAL FIRE PROTECTION SERVICE CONNECTION
N.T.S.



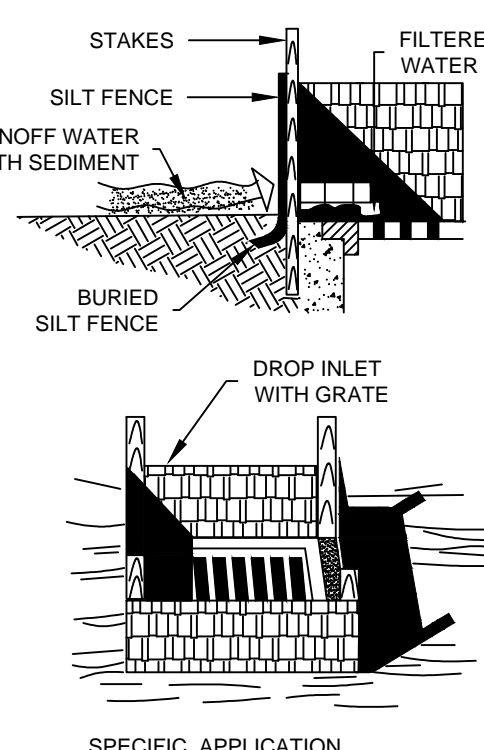
PAVEMENT RESTORATION DETAIL
(N.T.S.)



TYPICAL WATER SERVICE INSTALLATION DETAIL
N.T.S.

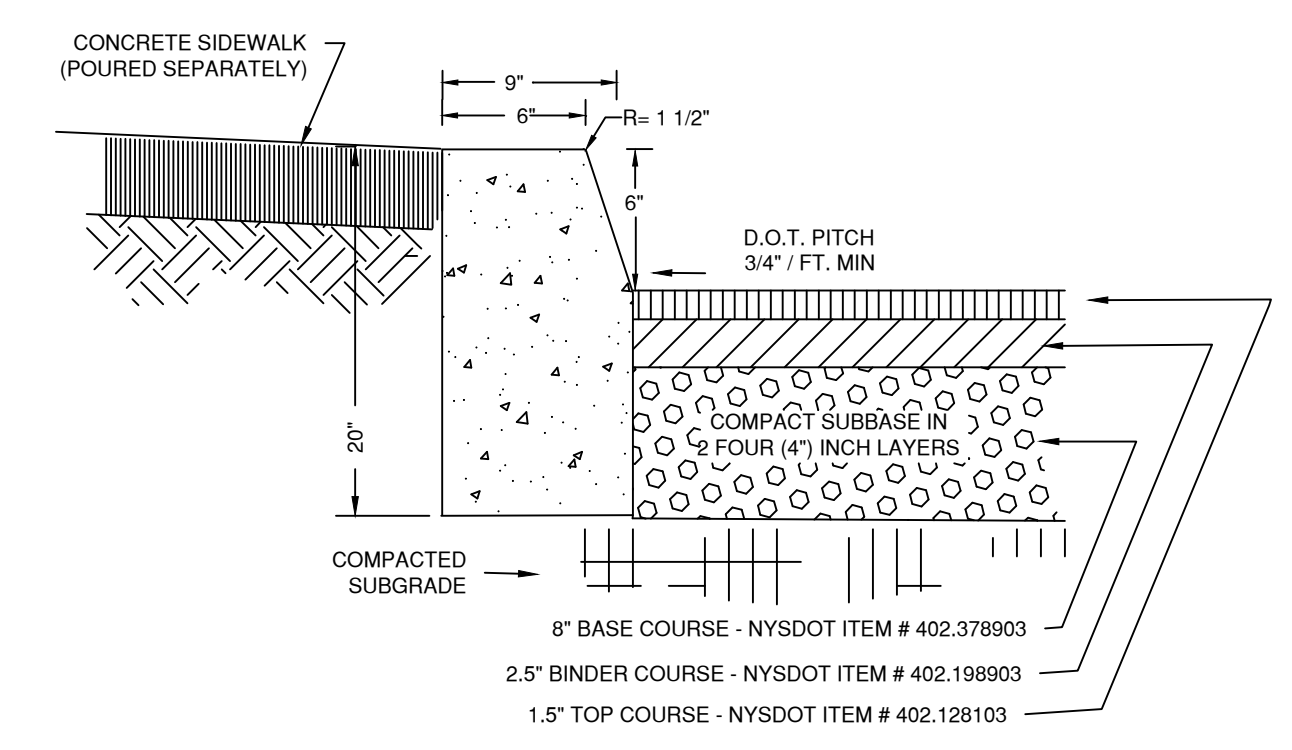


DRAINAGE PROFILE
1" = 3' HORIZONTAL
1" = 1' VERTICAL



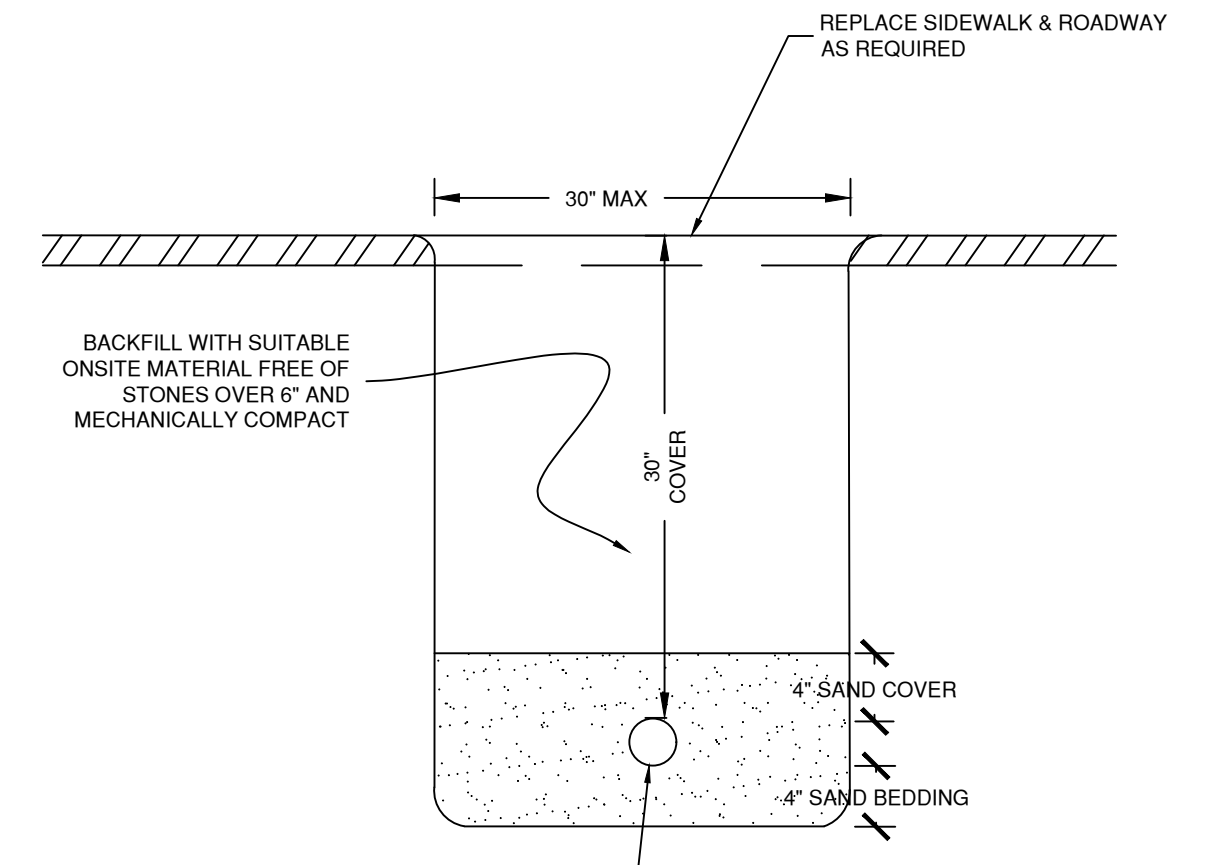
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPES NO GREATER THAN 5% WHERE SHEET OR OVERLAND FLOWS (NOT EXCEEDING 0.5 c.f.s.) ARE TYPICAL) WHERE SLOPES OF FLOWS ARE GREATER OR WHERE CONCENTRATED FLOWS ARE ANTICIPATED. USE HORIZONTAL BRICES ACROSS STAKES AND SURROUND SILT FENCE WITH CRUSHED STONE.

SILT FENCE DROP INLET SEDIMENT FILTER
N.T.S.

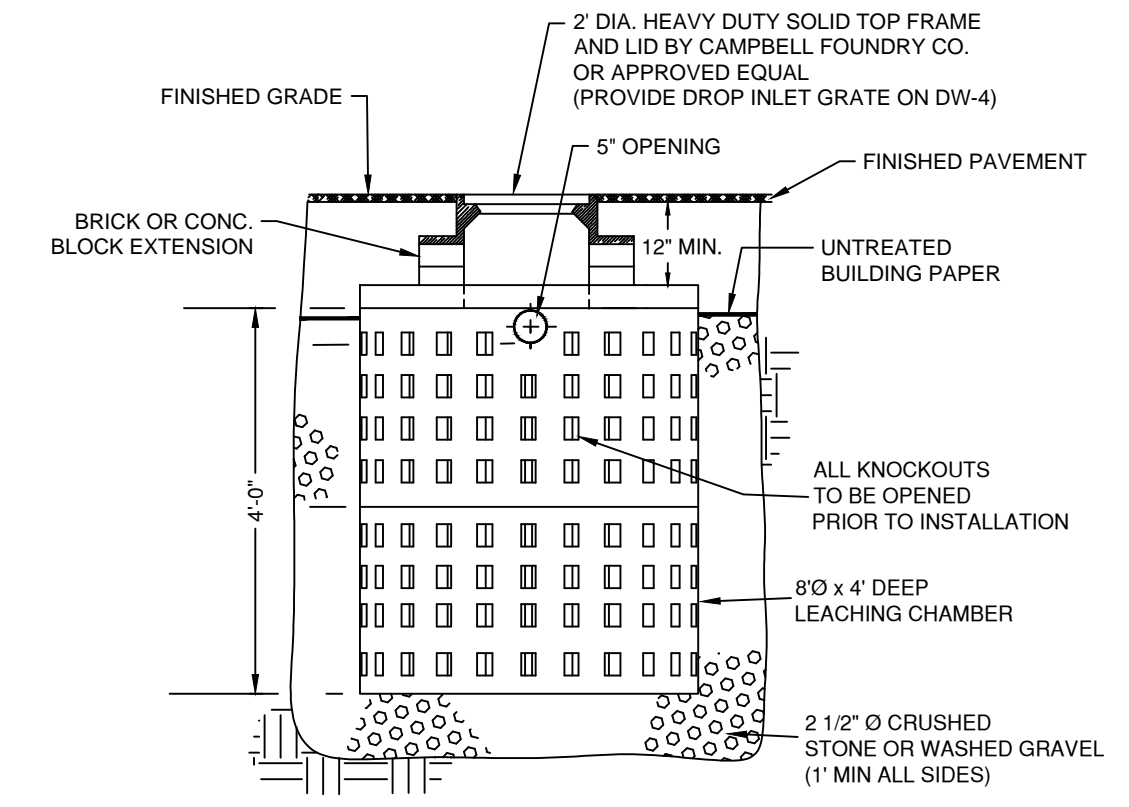


CURB AND PAVING DETAIL
N.T.S.

(CONSTRUCTION SPECIFICATIONS TO BE REVIEWED AND COORDINATED WITH VILLAGE OF LARCHMONT PUBLIC WORKS DEPARTMENT)

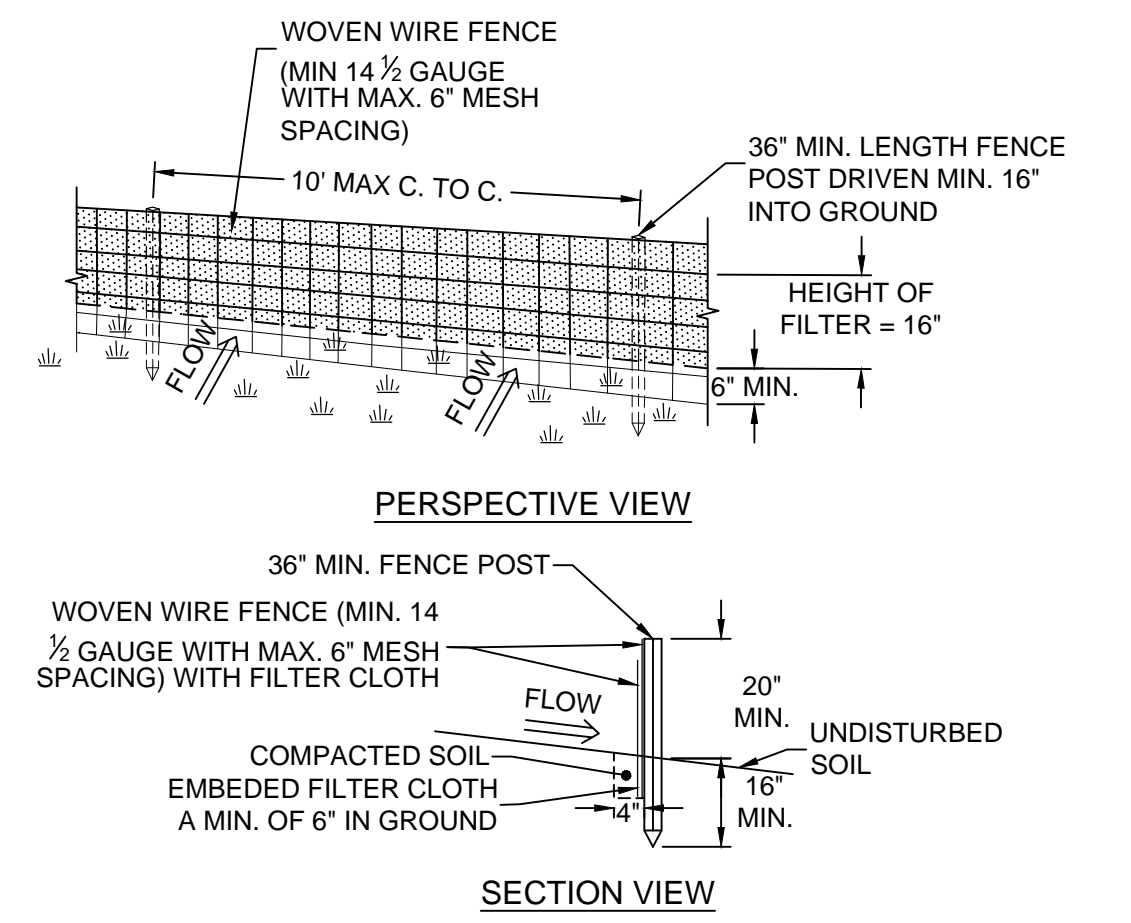


TYPICAL UTILITY TRENCH DETAIL
N.T.S.



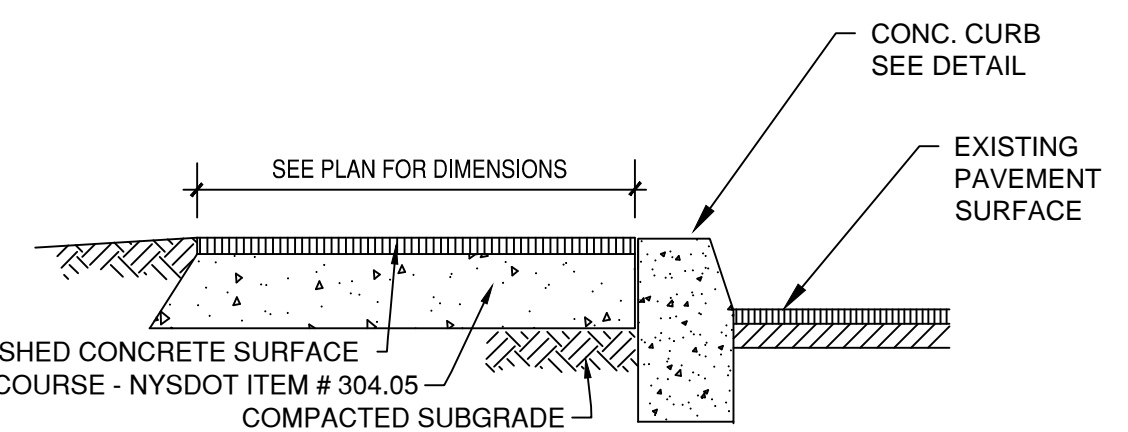
LEACHING PIT - DRYWELL 8" DIA.
N.T.S.

ALL STRUCTURES H-20 LOADING



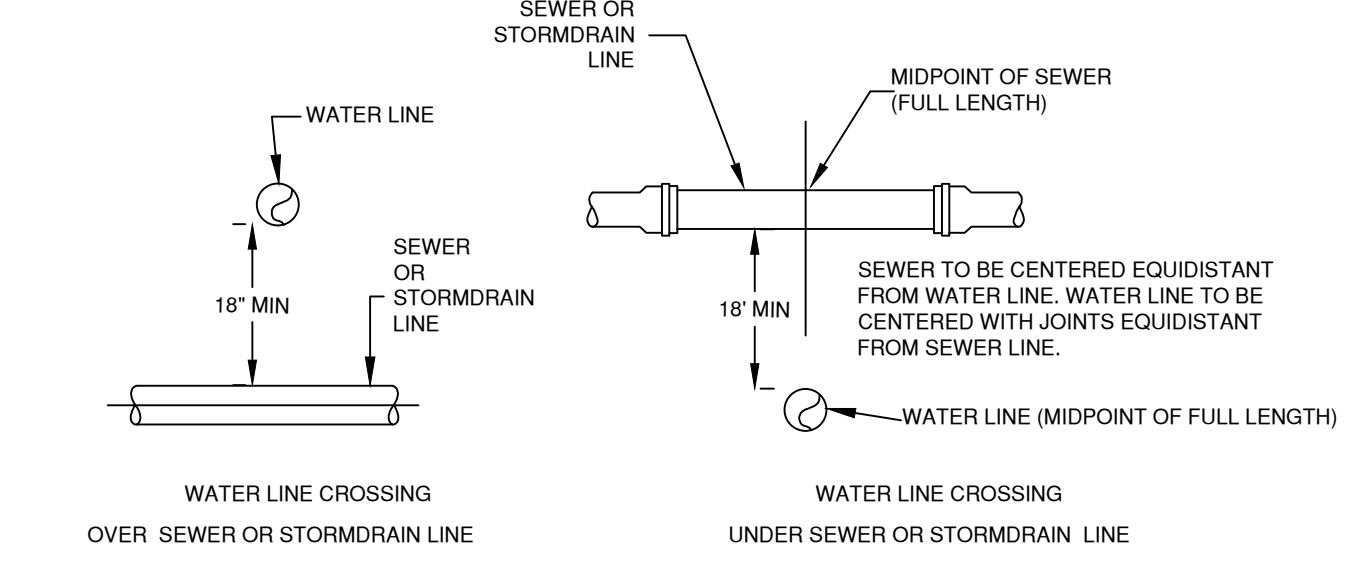
SILT FENCE DETAIL
N.T.S.

- CONSTRUCTION SPECIFICATIONS:
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL WITH 'T' OR 'U' TYPE OR HARDWOOD
 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
 4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.



SIDEWALK DETAIL
N.T.S.

(CONSTRUCTION SPECIFICATIONS TO BE REVIEWED AND COORDINATED WITH VILLAGE OF LARCHMONT PUBLIC WORKS DEPARTMENT)



TYPICAL WATER/SEWER LINE CROSSING
N.T.S.

NOTE: WHERE 18" CLEARANCE CANNOT BE ACHIEVED THE PROJECT ENGINEER SHALL SUBMIT FOR PRIOR APPROVAL A DETAIL FOR A COMPENSATING METHOD OF CROSSING TO THE WESTCHESTER COUNTY HEALTH DEPARTMENT.

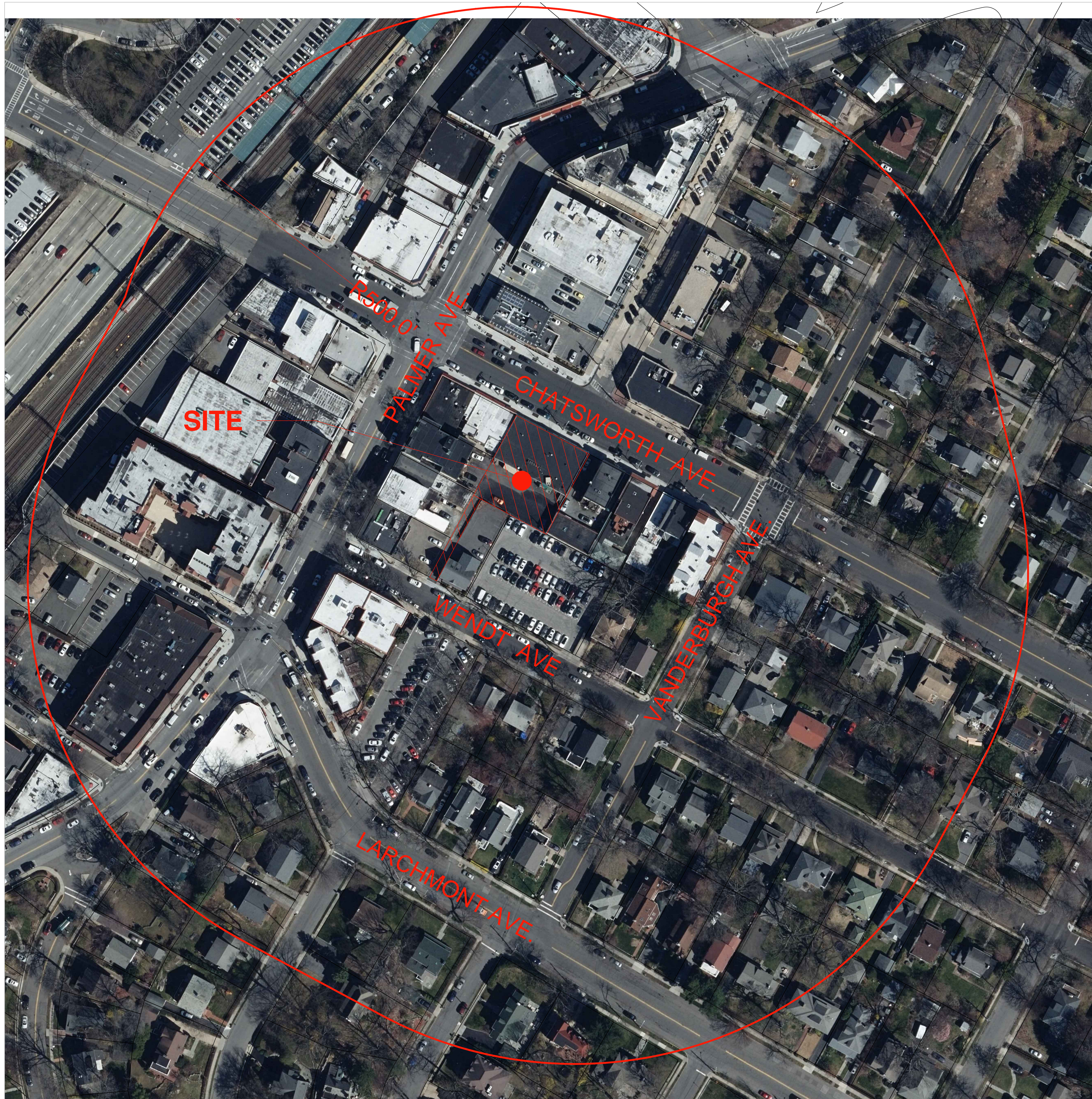
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REVISIONS	DATE	DESCRIPTION	BY/CHK	DATE	DESCRIPTION	BY/CHK
4-18-19	REVISED BASEMENT PLAN	DK/NG	4-30-20	VILLAGE SUBMISSION	NG/TA	
9-9-19	VILLAGE COMMENTS	DK/NG	7-24-20	VILLAGE COMMENTS	NG/TA	
2-21-20	NEW BUILDING & DRAINAGE LAYOUT	NG/TA				

	<p>DETAILS</p> <p>ELK CHATSWORTH LP CHATSWORTH AVENUE TOWN OF LARCHMONT, WESTCHESTER COUNTY, NY</p>	<p>DATE: 3-13-19 SCALE: AS SOWN FILE: 4H DSGN/CHK: RH/NG DRN. BY: RH SHT NO. 3 OF 6 DWG NO. D-1</p>
	<p>BIBBO ASSOCIATES, LLP 293 ROUTE 100 SUITE 203 SOMERS, NEW YORK 10589 TEL. 914.277.5905</p>	

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SITE

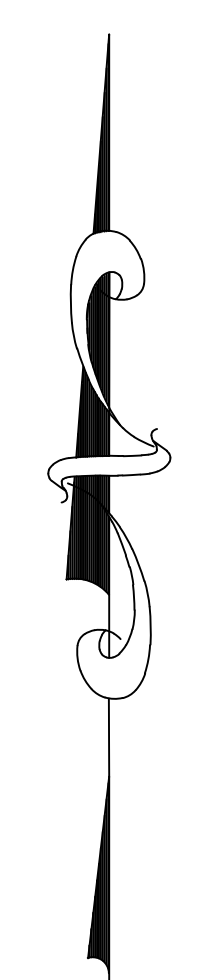
PALMER AVE
R500.0'

CHATSWORTH AVE

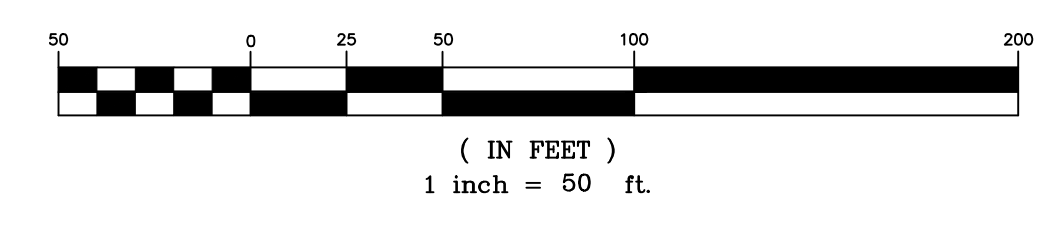
WENDT AVE

VANDEBURGH AVE

LARCHMONT AVE



PLAN
GRAPHIC SCALE

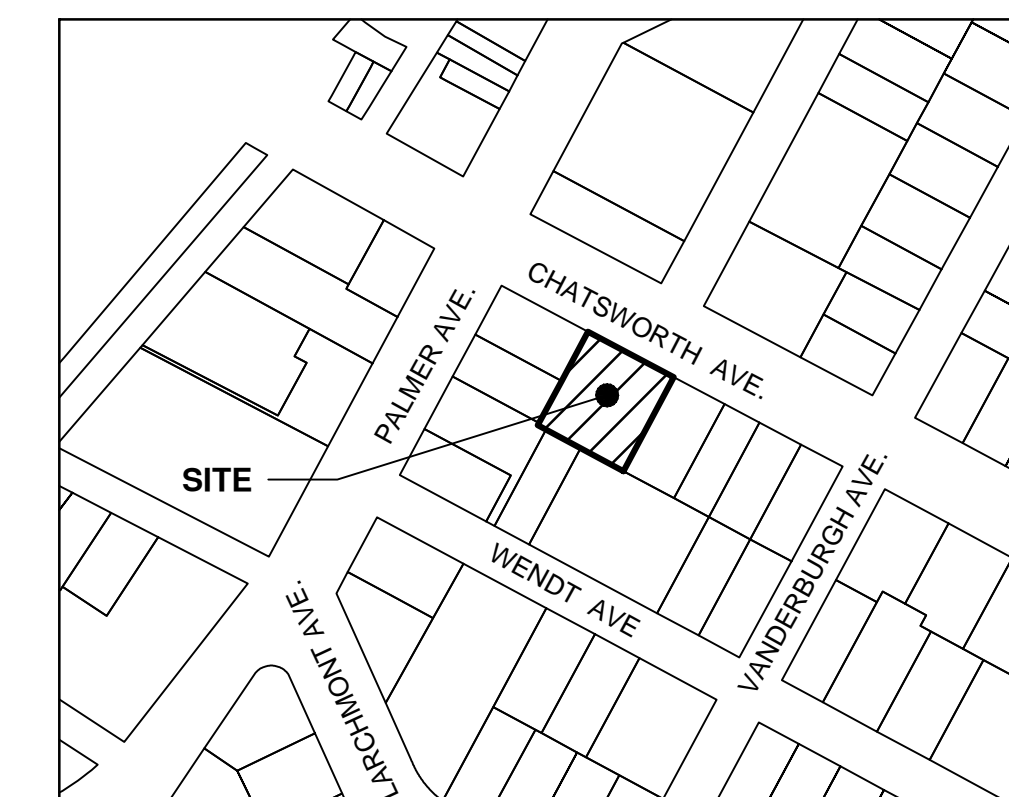


SITE DATA	
PARCEL INFORMATION	TAX I.D. (SEC. - BLK. - LOT): 6-6-409
	PROPERTY ADDRESS: 108-114 CHATSWORTH AVENUE
	OWNER: ELK CHATSWORTH LP 411 THEODORE FREMD AVE - SUITE 201 RVE, NY 10580
	LOT AREA: 11,000 FT ² (0.25 AC) +/-
	ZONING DISTRICT: RC - RETAIL CENTER
APPLICANT:	ELK CHATSWORTH LP 411 THEODORE FREMD AVE - SUITE 201 RVE, NY 10580
SURVEYOR:	STEPHEN F. HOPPE, L.S. 111 ROUTE 303 TAPPAN, NY 10983

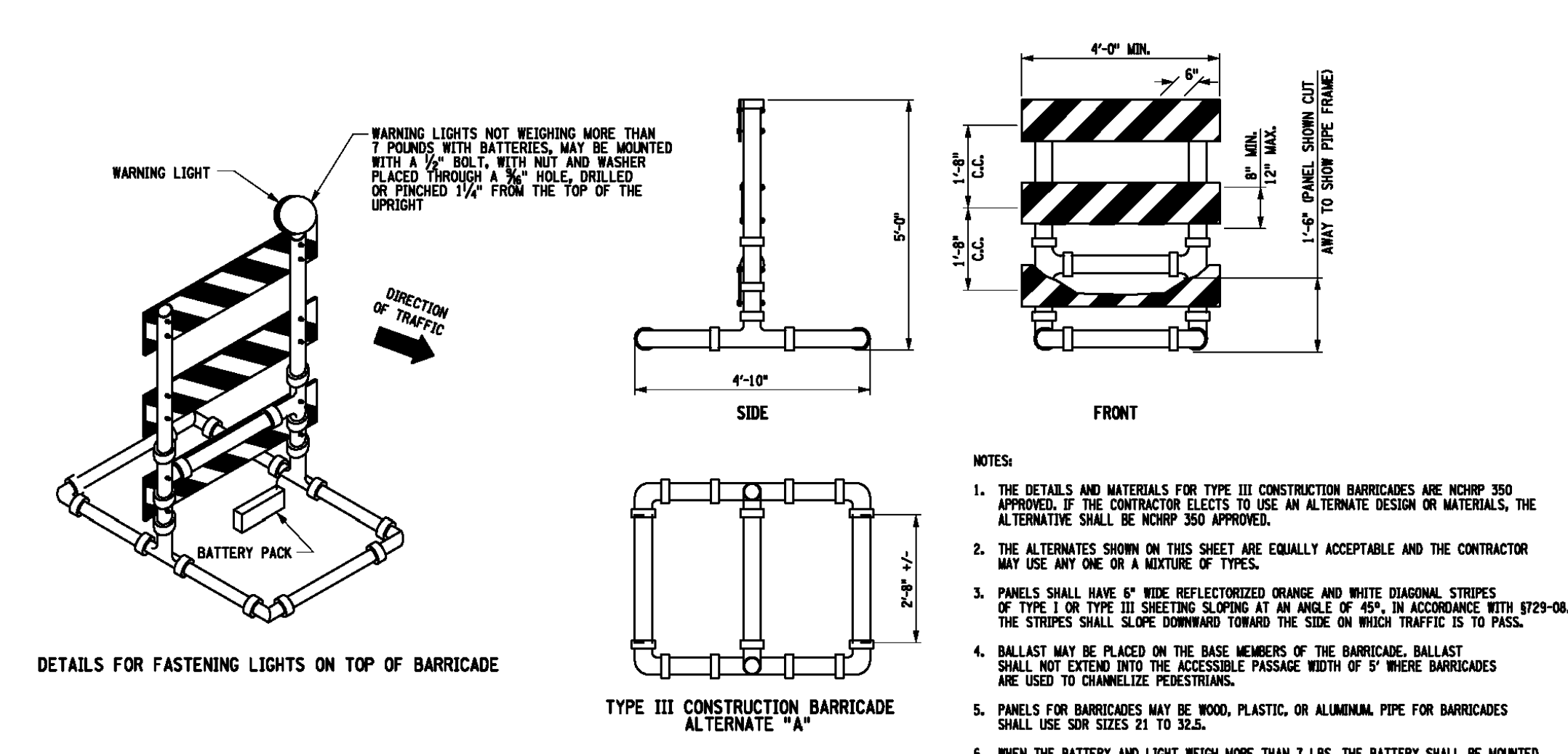
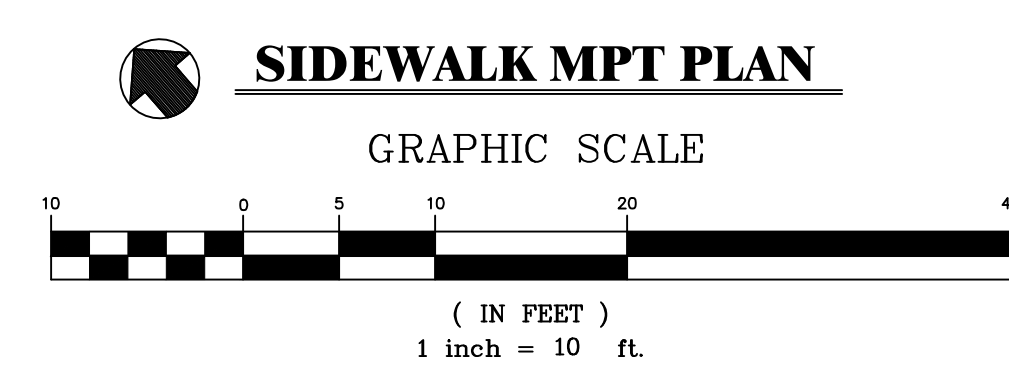
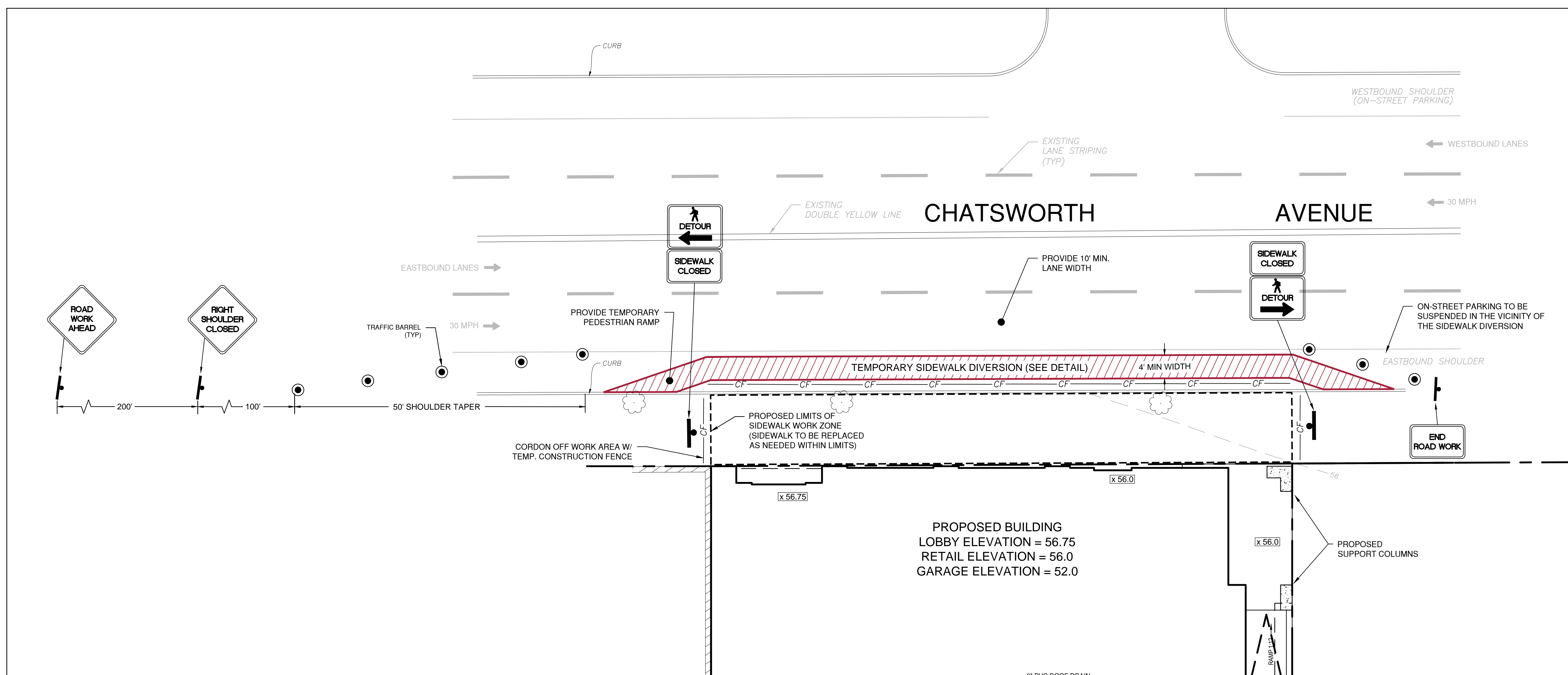
REVISIONS	DATE	DESCRIPTION	BY/CHK	DATE	DESCRIPTION	BY/CHK
4-18-19	REVISED BASEMENT PLAN	DK/NG	4-30-20	VILLAGE SUBMISSION	NG/TA	
9-9-19	VILLAGE COMMENTS	DK/NG	7-24-20	VILLAGE COMMENTS	NG/TA	
2-21-20	NEW BUILDING & DRAINAGE LAYOUT	NG/TA				

	NEIGHBORING PROPERTIES PLAN ELK CHATSWORTH LP CHATSWORTH AVENUE TOWN OF LARCHMONT, WESTCHESTER COUNTY, NY	DATE: 3-13-19 SCALE: 1" = 50' FILE: 4H DSGN / CHK: RH/NG DRN. BY: RH SHT NO. 4 OF 6 DWG NO. N-1
	BIBBO ASSOCIATES, LLP 293 ROUTE 100 SUITE 203 SOMERS, NEW YORK 10589 TEL. 914 277 5805	

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LOCATION MAP
SCALE: 1" = 200'



TYPE 'III' - CONSTRUCTION BARRICADE DETAIL
N.T.S.

NOTES:

- THE DETAILS AND MATERIALS FOR TYPE III CONSTRUCTION BARRICADES ARE NYS DOT APPROVED. IF THE CONTRACTOR DESIGNS TO USE AN ALTERNATE DESIGN OR MATERIALS, THE ALTERNATIVE SHALL BE NYS DOT APPROVED.
- THE ALTERNATES SHOWN ON THIS SHEET ARE EQUALLY ACCEPTABLE AND THE CONTRACTOR MAY USE ANY ONE OR A MIXTURE OF TYPES.
- PANELS SHALL HAVE 4" WIDE REFLECTORIZED ORANGE AND WHITE DIAGONAL STRIPES OF TYPE I OR TYPE III SHEETING SLANTING AT AN ANGLE OF 45° IN ACCORDANCE WITH 929-04. THE STRIPES SHALL SLOPE DOWNWARD TOWARD THE SIDE ON WHICH TRAFFIC IS TO PASS.
- BALLAST MAY BE PLACED ON THE BACK MEMBERS OF THE BARRICADE. BALLAST SHALL NOT EXTEND INTO THE ACCESSIBLE PASSAGE WIDTH OF 4' WHERE BARRICADES ARE USED TO CHANNELIZE PEDESTRIANS.
- PANELS FOR BARRICADES MAY BE WOOD, PLASTIC OR ALUMINUM PIPE FOR BARRICADES SHALL USE SIZE 2x4 TO 2x6.
- WHEN THE BATTERY AND LIGHT WEIGH MORE THAN 7 LBS, THE BATTERY SHALL BE MOUNTED ON THE BOTTOM OF THE BARRICADE.
- ALL FITTINGS SHALL BE WHITE. WHITE FITTINGS ARE PREFERRED. BLACK MAY BE USED. ALL JOINTS IN ALTERNATE "A" SHALL BE GLED WITH A SOLVENT CEMENT COMPATIBLE WITH THE PVC PIPE.
- IF BARRICADES ARE USED TO TEMPORARILY CHANNELIZE PEDESTRIANS, THERE SHALL BE A CONTINUOUS DETECTABLE BOTTOM AND TOP RAILS WITH NO GAP BETWEEN INDIVIDUAL BARRICADES TO BE DETECTABLE TO BLIND OR VISUALLY IMPAIRED USERS OF LOW CARS. THE BOTTOM OF THE BOTTOM RAIL SHALL BE NO HIGHER THAN 6" ABOVE THE GROUND AND THE TOP OF THE TOP RAIL SHALL BE NO LOWER THAN 3" ABOVE THE GROUND.

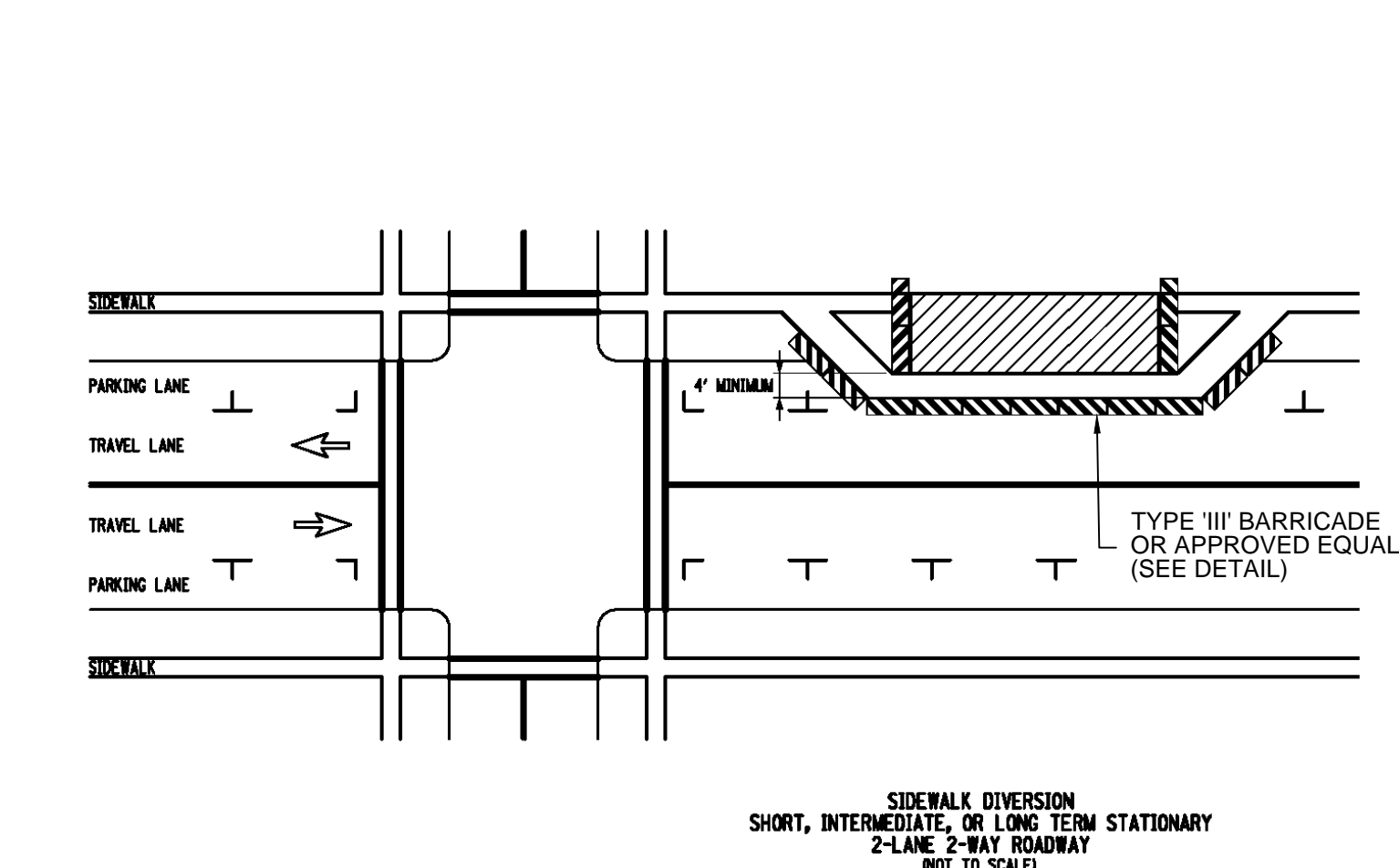
CALL BEFORE YOU DIG 1-800-962-7962

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NYS DOT SIDEWALK DIVERSION DETAIL
N.T.S.

SIDEWALK NOTES

- DURING CONSTRUCTION A TEMPORARY SIDEWALK SHALL BE PROVIDED FOR PEDESTRIAN USE. THE TEMPORARY SIDEWALK SHALL PROVIDE ACCESSIBILITY FEATURES CONSISTENT WITH THE EXISTING PEDESTRIAN FACILITIES.
- ASPHALT PAVEMENT SHALL BE PLACED WHERE NECESSARY TO CREATE A HARD TEMPORARY SIDEWALK SURFACE. ANY EXISTING CURBS OR POTENTIAL OBSTRUCTIONS SHALL BE REMOVED FROM THE TEMPORARY PATH.
- TEMPORARY SIDEWALK SHALL HAVE A MINIMUM WIDTH OF FOUR (4) FEET.
- CONSTRUCTION FENCING SHALL BE PLACED ON ALONG THE FRONT OF THE PROJECT SITE TO PROHIBIT PEDESTRIAN ENTRY INTO THE CONSTRUCTION WORK ZONES.
- SIGNS SUCH AS "KEEP RIGHT (LEFT)" SHALL BE PLACED ALONG THE TEMPORARY SIDEWALK, WHERE APPLICABLE AND ACCORDING TO AMERICAN WITH DISABILITIES STANDARDS, TO GUIDE OR DIRECT PEDESTRIANS.
- FOR NIGHTTIME CLOSURES, FLASHING WARNING LIGHTS SHALL BE USED ON BARRICADES AND SIGNS AND CLOSING SIDEWALKS.

MPT NOTES

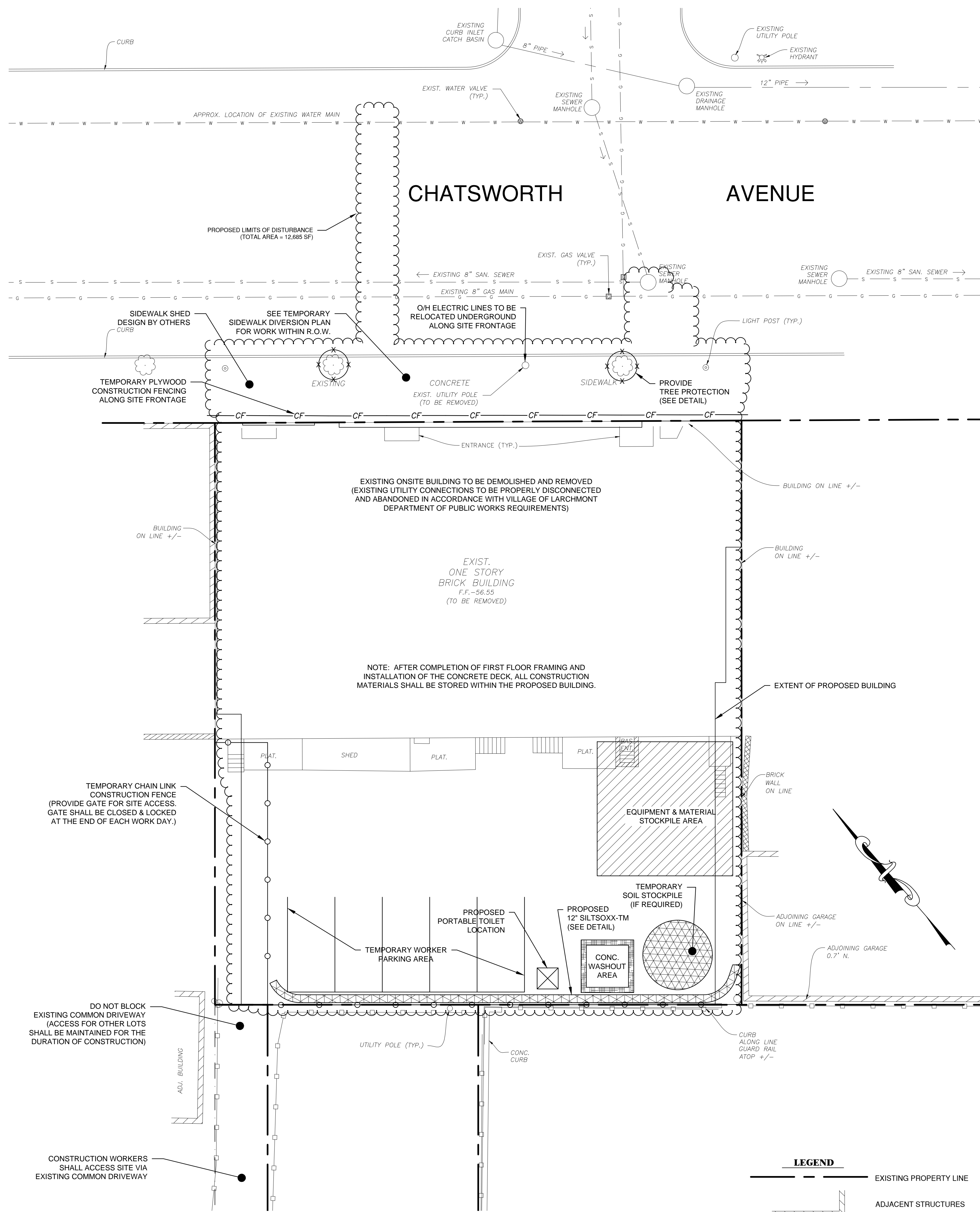
- THE FINAL LOCATION OF WORK ZONE TRAFFIC SIGNS ARE SUBJECT TO THE APPROVAL OF THE ENGINEER. THE ENGINEER RESERVES THE RIGHT TO REQUIRE THE CONTRACTOR TO IMPLEMENT ADDITIONAL WORK ZONE CONTROL MEASURES DURING CONSTRUCTION.
- SOME SIGNS / DRUMS TO REMAIN IN PLACE FOR THE DURATION OF THE PROJECT.
- REMOVE OR COMPLETELY COVER SIGNS WHERE NOT APPLICABLE.
- ADJUST SIGNS / DRUMS AS NECESSARY TO ADDRESS TRAFFIC LANES / CONDITIONS.
- ALL WORK TO BE COMPLETED IN ACCORDANCE WITH NYS DOT STANDARD SPECIFICATIONS USING THE FOLLOWING:
 - ITEM 619.01 - BASIC MAINTENANCE AND PROTECTION OF TRAFFIC
 - ITEM 619.02 - CONSTRUCTION SIGNS
 - ITEM 619.2101 - CONSTRUCTION ZONE PAVEMENT MARKINGS AND SIGNS
- ALL CONSTRUCTION AND MPT SIGNS MUST BE CLEAN AND HAVE A REFLECTIVE SURFACE.
- ANY EXISTING SIGNS, WHICH CONFLICT WITH THE TEMPORARY TRAFFIC CONTROL SIGN LAYOUT SHALL BE COVERED, REMOVED, STORED OR RESET, AS APPROVED BY THE ENGINEER. ALL APPROPRIATE EXISTING SIGNS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND/OR LOCATION.
- ALL ADVANCE WARNING SIGNS SHALL BE DIAMOND SHAPED. ACCORDING TO PART 238 OF THE NYSMUTCD, THE BOTTOM OF THE SIGN SHALL BE 7' MINIMUM ABOVE THE GROUND AND 2' MINIMUM FROM FACE OF CURB OR EDGE OF TRAVELED WAY. THE ENGINEER MAY ORDER ADDITIONAL OR MODIFIED DEVICES AND/OR METHODS TO MEET FIELD CONDITIONS.
- SIGNS AT OR NEAR INTERSECTIONS SHALL BE PLACED SO THAT THEY DO NOT OBSTRUCT A MOTORIST'S LINE OF SIGHT.
- UNLESS AUTHORIZED BY THE ENGINEER, THE MINIMUM LANE WIDTHS FOR WORK ZONE TRAVEL LANES SHALL BE 10 FEET.
- PROVIDE TEMPORARY ORANGE SAFETY CONSTRUCTION FENCE ADJACENT TO WORK ZONE TO RESTRICT PEDESTRIAN TRAFFIC FROM THE CLOSED SIDEWALKS. ONCE WORK WITHIN THE RIGHT OF WAY IS COMPLETED AND SIDEWALKS ARE RESTORED, PLACE ORANGE SAFETY CONSTRUCTION FENCING AT THE LIMITS OF DISTURBANCE ALONG THE PROPERTY LINE.
- CONTRACTOR SHALL PROVIDE CERTIFIED FLAG PERSONS WITH STOP/SLOW STAFF MOUNTED PADDLE BOARD SIGNS WHEN TRUCKS ENTER AND LEAVE THE SITE.
- ALL FLAGGERS SHALL USE 24 INCH (MIN.) OCTAGON SHAPED STOP/SLOW PADDLES HAVING 6 FOOT STAFF.
- NYS DOT DRUMS USED FOR TRAFFIC WARNING SHALL BE A MINIMUM OF 36 INCHES IN HEIGHT, AND HAVE AT LEAST AN 18 INCH MINIMUM WIDTH. EACH DRUM SHALL HAVE A MINIMUM OF TWO ORANGE AND TWO WHITE STRIPES. THESE WARNINGS ON DRUMS SHALL BE HORIZONTAL, CIRCUMFERENTIAL, ALTERNATING ORANGE AND WHITE RETROREFLECTIVE STRIPES 4 TO 6 INCHES WIDE. THE CONTRACTOR SHALL USE NYS DOT TRAFFIC CONES AS NEEDED TO SUPPLEMENT TRAFFIC DRUMS.
- CONSTRUCTION EQUIPMENT SHALL BE REMOVED FROM THE ROADSIDE AREA DURING NON-WORKING HOURS.
- PRIVATE VEHICLES OWNED BY THE CONTRACTOR OR HIS/HER WORKMEN SHALL NOT BE PARKED ON THE PAVEMENT OR SHOULDERS, OR ANY OTHER AREAS DEEMED BY THE ENGINEER AND/OR VILLAGE OF LARCHMONT TO BE HAZARDOUS LOCATIONS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE ALL NECESSARY ON-STREET TEMPORARY PARKING SUSPENSIONS WITHIN CHATSWORTH AVENUE TO COMPLETE THE WORK WITH THE VILLAGE OF LARCHMONT.
- TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT. ALL TRENCHES SHALL BE BACKFILLED BY THE END OF THE WORK PERIOD. THE EXCEPTIONS ARE TRENCHES LESS THAN A PIPE LENGTH AT SPECIAL LOCATIONS SUCH AS THE CONNECTION POINT FOR THE NEXT DAY'S WORK, CROSSING WITH A WATERLINE THAT IS BEING PRESSURE TESTED, OR OTHER CONDITIONS DEEMED BY THE ENGINEER WHERE IT CAN BE PLACED. THE TRENCH MUST BE SHEETED, BRACED, SHORED (IN COMPLIANCE WITH OSHA REQUIREMENTS) IN ADDITION TO THE PLATING (TRAFFIC RATED IN STREETS). NO TRENCH SHALL BE LEFT WITH LIP DEPRESSION GREATER THAN ONE INCH IN THE TRAFFIC AREA.
- THE CONTRACTOR SHALL EXCAVATE FOR UTILITY TRENCHES ONLY TO A LENGTH THAT CAN BE COVERED/CLOSED AT THE END OF THE CONSTRUCTION DAY. INGRESS AND EGRESS TO RESIDENCES, BUSINESSES, ETC. ALONG MAMARONECK AVENUE SHALL BE MAINTAINED/COORDINATED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

NOTE:
RIGHT SHOULDER OF THE EASTBOUND TRAFFIC SHALL BE CLOSED DURING SIDEWALK CONSTRUCTION. CONTRACTOR SHALL LOCATE TRAFFIC CHANNELIZATION DEVICES AS SHOWN. ALL TRAVELED LANES SHALL REMAIN OPEN AND ON-STREET PARKING ALONG THE WESTBOUND SIDE OF CHATSWORTH AVENUE SHOULD BE PERMITTED DURING SIDEWALK CONSTRUCTION. THE SIDEWALK ON THE EASTBOUND SIDE OF CHATSWORTH AVENUE SHALL BE DIVERTED TO THE ROAD SHOULDER WHILE WORK IS PERFORMED IN AND AROUND THE EXISTING SIDEWALK. CONSTRUCTION FENCING SHALL BE PLACED ALONG THE TEMPORARY SIDEWALK DIVERSION TO CREATE A BARRIER TO PROTECT PEDESTRIANS FROM CONSTRUCTION ACTIVITIES AND TYPE 'III' CONSTRUCTION BARRIERS SHALL BE USED TO PROTECT PEDESTRIANS FROM THE TRAVEL LANES.

PLEASE REFER TO THE OTHER SHEETS IN THE PLAN SET FOR SPECIFIC CONSTRUCTION INFORMATION, NOTATION, AND DETAILS.

REVISIONS	DATE	DESCRIPTION	BY/CK	DATE	DESCRIPTION	BY/CK
7-24-20	VILLAGE COMMENTS	NG/TA				

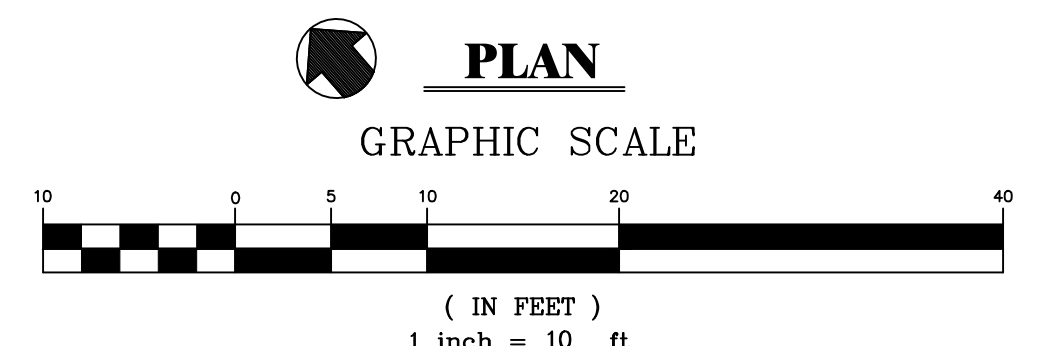
	<p>TEMPORARY SIDEWALK DIVERSION PLAN</p> <p>ELK CHATSWORTH LP 108-114 CHATSWORTH AVENUE TOWN OF LARCHMONT, WESTCHESTER COUNTY, NY</p>	<p>DATE: 5-18-20</p> <p>SCALE: 1" = 10'</p> <p>FILE: 4H</p> <p>DSGN / CHK: RHNG</p> <p>DRN. BY: NG</p> <p>SHT. NO. 5 OF 6</p> <p>DWG. NO. TS-1</p>
	<p>RIBBO ASSOCIATES, LLP 283 ROUTE 100 SUITE 203 SOMERS, NEW YORK 10589 TEL. 914 277 5805</p>	



CONSTRUCTION PHASING

DEMOLITION PHASE
ESTIMATED DURATION: 2 TO 3 WEEKS
ANTICIPATED START DATE: FALL OF 2020

BUILDING CONSTRUCTION PHASE
ESTIMATED DURATION: 11 TO 14 MONTHS
ANTICIPATED START DATE: FALL OF 2020

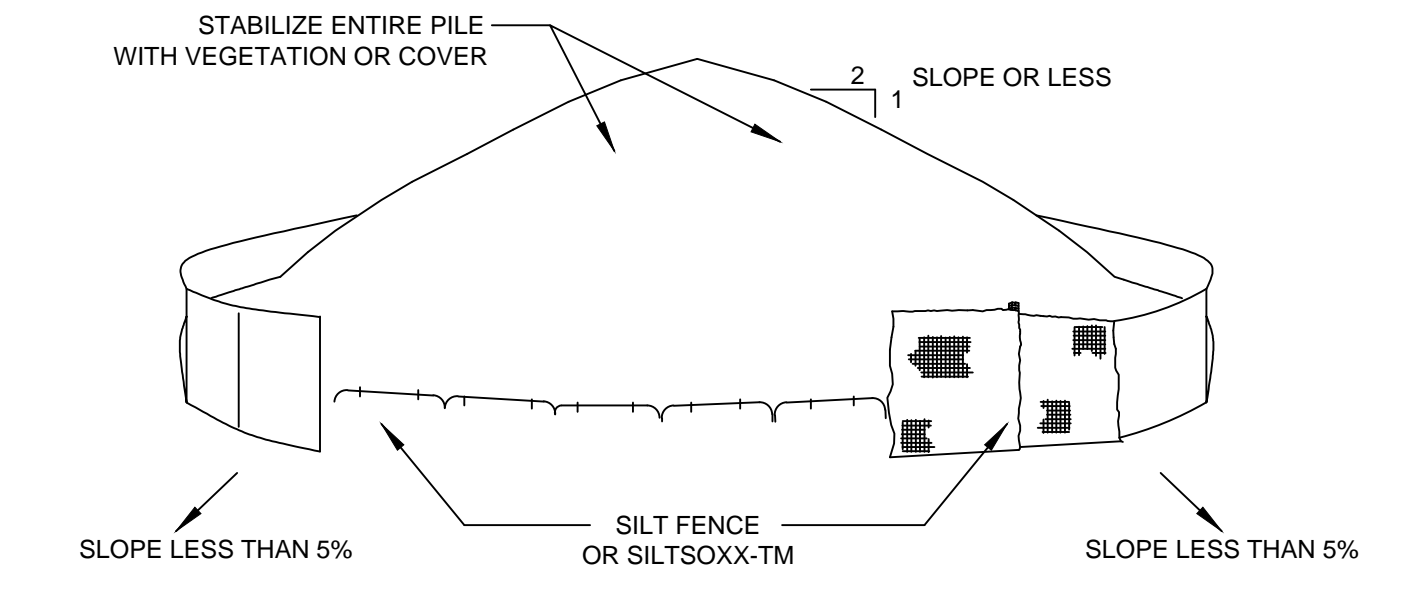
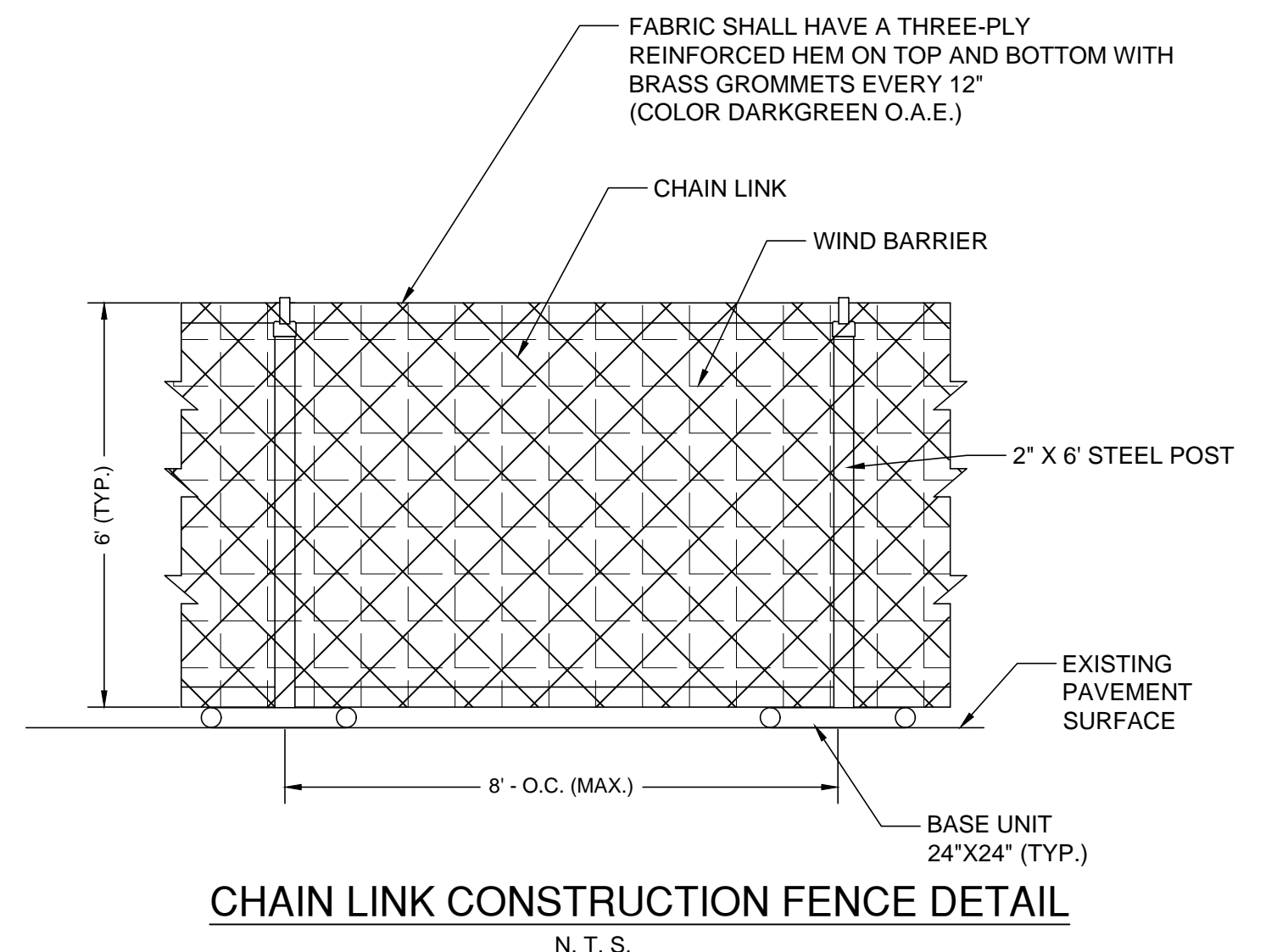


CALL BEFORE YOU DIG 1-800-962-7962

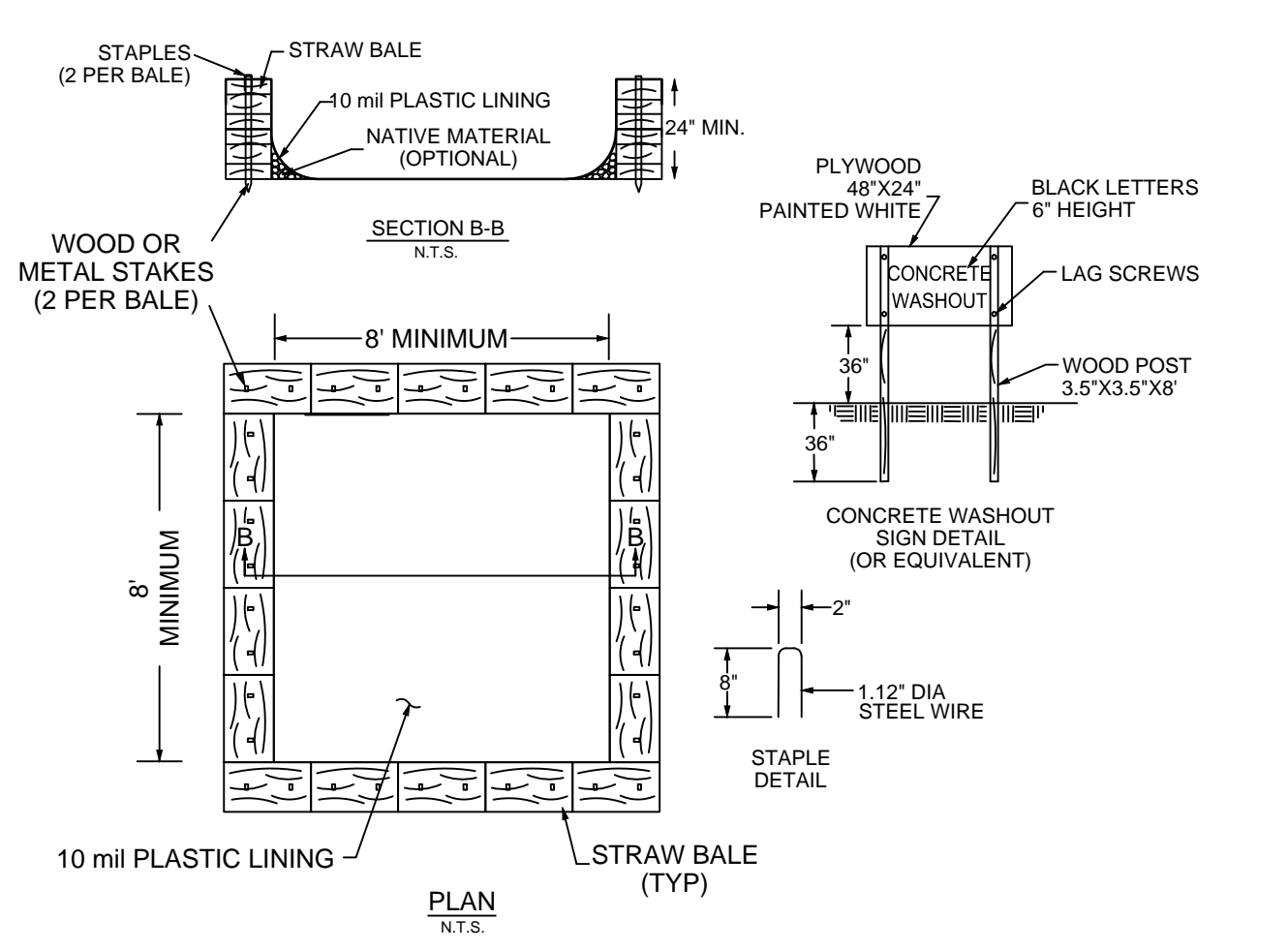
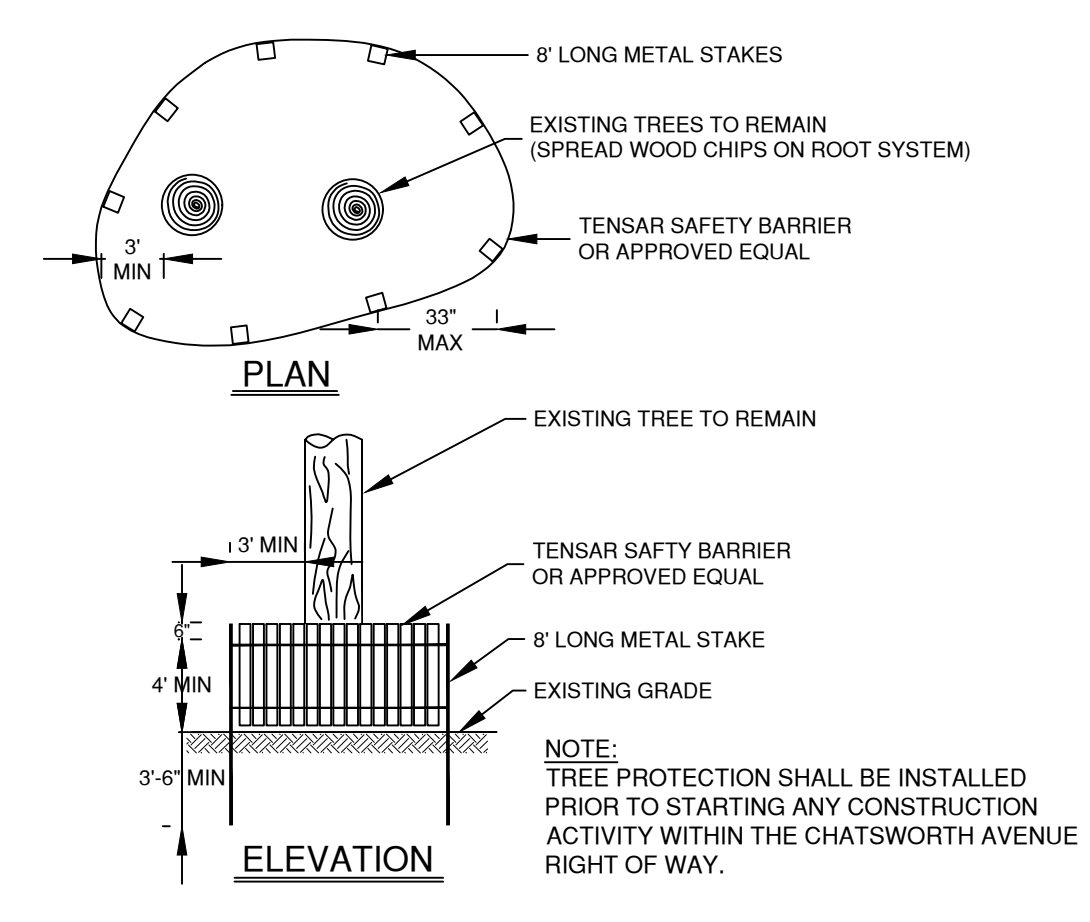
UNDER THE NY STATE LAW PROTECTING UNDERGROUND FACILITIES, THE FOLLOWING RULES AND REGULATIONS ARE IN EFFECT FOR ALL EXCAVATORS:

- THEY MUST CALL FOR A UTILITY STAKE-OUT (S) TWO FULL WORKING DAYS PRIOR TO AN EXCAVATION.
- THEY MUST CONFIRM PRECISE LOCATIONS OF UNDERGROUND FACILITIES.
- THEY MUST PRESERVE STAKES AND MARKING UNITS, NO LONGER NEEDED AT SITE.
- THEY MUST CONTACT NON-EMERGENCY UTILITY OWNERS FOR STAKE-OUTS.

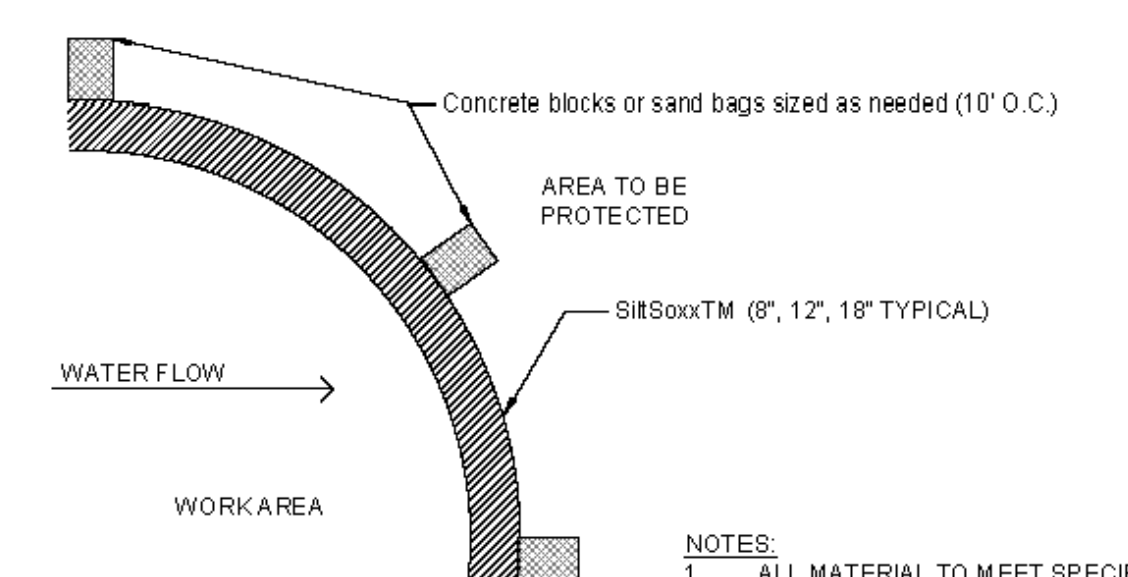
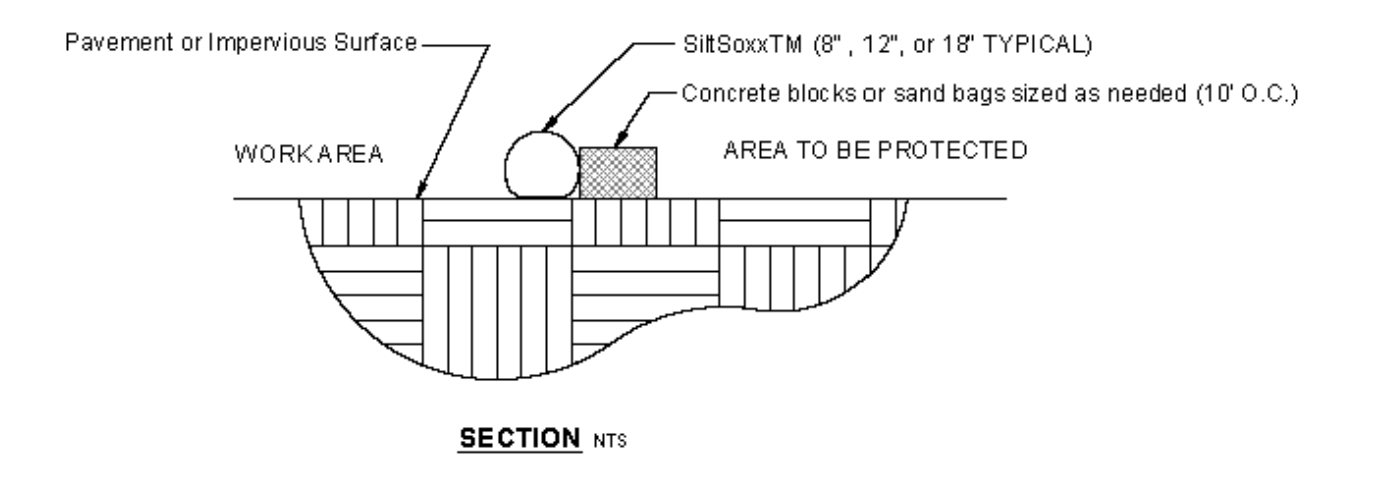
NOTE:
LOCATIONS OF EXISTING PUBLIC UTILITIES FROM MAPS PROVIDED BY THE VILLAGE OF LARCHMONT DEPARTMENT PUBLIC WORKS. CONTRACTOR SHALL VERIFY THE LOCATION AND CONDITION OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND NOTIFY THE PROJECT ENGINEER AND VILLAGE CONSULTING ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.



- INSTALLATION NOTES:**
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 - MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2
 - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT-SOXX-TM (ON PAVEMENT), THEN STABILIZED & COVERED.
 - SEE SILT-SOXX-TM DETAIL FOR ADDITIONAL INFORMATION.



- CONSTRUCTION SPECIFICATIONS**
- LOCATE WASHOUT STRUCTURE A MINIMUM OF 100 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES
 - SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 6 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 8 FEET X 8 FEET X 2 FEET DEEP.
 - PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
 - PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
 - KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G. RIPPED OR PUNCTURED); EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED WEATHERS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL, OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.
 - MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF OR RECYCLED.



- NOTES:**
- ALL MATERIAL TO MEET SPECIFICATIONS.
 - FILTER MEDIA TO MEET APPLICATION REQUIREMENTS.
 - FILTER MEDIA TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

TYPICAL EROSION CONTROL SCHEDULE

MAINTENANCE ITEM	FREQUENCY OF INSPECTIONS				
	DAILY	WEEKLY	MONTHLY	YEARLY	FOLLOWING MAJOR RAINFALL
SILT FENCE (NOT KNOCKED DOWN OR BULGING)	X				X
CONSTRUCTION ENTRANCE NOT SILTED UP	X				X
SOIL STOCKPILE			X		X
TEMPORARY SWALES / WATER BREAKS	X		X		X
SEEDING/MULCHING			X		X
SITE STABILIZATION			X		X
CATCH BASIN INLET PROTECTION			X		X
USE OF CONSTRUCTION STAGING AREAS	X				X
SEDIMENT TRAP		X			X
GENERAL SITE APPEARANCE	X	X			X
DEBRIS/LITTER CONTROL	X				X
NEED TO CLEAN ROAD SURFACE	X				X
STORMWATER DISCHARGE QUALITY	X			X	X

EROSION CONTROL NOTES

- ALL CONSTRUCTION ACTIVITIES INVOLVING THE REMOVAL OR DEPOSITION OF SOILS ARE TO BE PROVIDED WITH APPROPRIATE PROTECTIVE MEASURES TO INHIBIT EROSION AND TO CONTAIN SEDIMENT DEPOSITION WITHIN THE AREA UNDER DEVELOPMENT.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROLS SHALL REMAIN IN PLACE, MAINTAINED REGULARLY IN PROPER FUNCTIONING CONDITION UNTIL ALL AREAS EXPOSED DURING SITE CONSTRUCTION HAVE BEEN SUITABLY STABILIZED WITH PAVEMENT, PERMANENT STRUCTURES AND/OR FINAL VEGETATIVE COVER.
- ONLY THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME DURING CONSTRUCTION.
- ALL INACTIVE DISTURBED SITE AREAS SHALL RECEIVE TEMPORARY STABILIZATION WITHIN 14 DAYS.
- WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE PERIOD OF EXPOSURE SHALL BE KEPT TO A MINIMUM, INSTALLING PERMANENT AND FINAL VEGETATION, PAVING, STRUCTURES, ETC., AT THE EARLIEST POSSIBLE OPPORTUNITY.
- EROSION CONTROL MEASURES SHOWN ON THIS PLAN REPRESENT MINIMUM REQUIREMENTS FOR SITE EROSION CONTROL. FURTHER MEASURES MAY BE REQUIRED BY THE DESIGN ENGINEER DURING CONSTRUCTION BASED UPON SITE CONDITIONS.
- TIMELY MAINTENANCE OF SEDIMENT CONTROL PRACTICES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL PRACTICES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. ALL SEDIMENT CONTROL MEASURES SHALL BE INSPECTED ON A REGULAR BASIS AND AFTER ALL MAJOR RAINFALL EVENTS TO INSURE PROPER OPERATION AS DESIGNED.
- THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
- CONSTRUCTION EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE TRAINED CONTRACTOR OR OTHER COMPETENT INDIVIDUAL HAVING RECEIVED NYSDEC 4-HOUR EROSION AND SEDIMENT CONTROL TRAINING AT A MINIMUM OF WEEKLY AND FOLLOWING ALL RAIN EVENTS GREATER THAN 0.5 INCHES. (GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REQUIRED INSPECTIONS AND SHALL BE RESPONSIBLE FOR COMPLETING THE NYSDEC TRAINING.)
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE 2016 NYSDEC STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- SOIL MOVING OPERATIONS ARE PROHIBITED BETWEEN THE HOURS OF 5:00PM TO 8:00AM MONDAY THROUGH FRIDAY AND ON SATURDAYS, SUNDAYS AND STATE RECOGNIZED PUBLIC HOLIDAYS.
- IN ORDER TO CONTROL WINDBLOWN DUST FROM LEAVING THE SITE, THE TEMPORARY CONSTRUCTION FENCING SHALL BE A MINIMUM OF 6 FEET TALL AND INCLUDE A WIND BARRIER ALONG THE ENTIRE PERIMETER OF THE DEVELOPMENT. IF ADDITIONAL MEASURES ARE NECESSARY TO CONTROL DUST, A WATER TRUCK SHALL BE MAINTAINED FOR THE PROJECT TO WET THE DISTURBED AREAS DURING CONSTRUCTION ACTIVITIES.

7-24-20	VILLAGE COMMENTS	NG/TA			
DATE:	DESCRIPTION	BY/CK	DATE:	DESCRIPTION	BY/CK

CONSTRUCTION MANAGEMENT PLAN

ELK CHATSWORTH LP
108-114 CHATSWORTH AVENUE
TOWN OF LARCHMONT, WESTCHESTER COUNTY, NY

BIBBO ASSOCIATES, LLP
283 ROUTE 100 SUITE 203
SOMERS, NEW YORK 10589
TEL. 914 277 5805

DATE: 6-26-20
SCALE: 1" = 10'
FILE: 4H
DSGN / RHHG
CHK: RHHG
DRN. BY: RH
SHT NO. 6 OF 6
DWG NO. **CP-1**

UNAUTHORIZED ALTERATIONS AND ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (3) OF THE NEW YORK STATE EDUCATION LAW.

DESIGNED BY: BIBBO ASSOCIATES, LLP
REGISTERED PROFESSIONAL ENGINEER
NO. 023434

DRAWN BY: T.M. S. ALLEN, P.E.