



Village of Larchmont villageoflarchmont.org
 Building Department Architectural Review Board Application
 120 Larchmont Avenue, Larchmont, New York 10538 Phone (914) 834-4349
ARCHITECTURAL REVIEW BOARD
APPLICATION

TO BE COMPLETED BY APPLICANT

Application date: March 14, 2022		Application Fee: \$150.00
Please fill in dates or N/A (Not Applicable) Note: Dates must be on plans submitted Board Approval Date: <input checked="" type="checkbox"/> Zoning 1/5/2022	Please fill in dates or N/A (Not Applicable) Note: Dates must be on plans submitted Board Approval DATE: <input checked="" type="checkbox"/> Planning 2/15/2022	Please fill in dates or N/A (Not Applicable) Note: Dates must be on plans submitted Board Approval DATE: 3/30/22 <input checked="" type="checkbox"/> ARB

SITE IDENTIFICATION INFORMATION

Project Address:
No. 10 Street Dawes Place

Village of Larchmont Tax Map Designation:
Section 6 Block 9 Lot(s) 427

Business Name:
Laurent Vasilescu and Sophie Anderson, Owners

Description of Project:
Rear deck addition and replacement windows. Relocate existing mechanical equipment.

APPLICANT/OWNER INFORMATION

Contractor (Signage Company): TBD	Phone #: Fax#:	Email:
Owners Address: No. 10 Street: Dawes Place Town: Larchmont State: NY Zip: 10538	Phone #: (914) 315-6454 Fax#:	Email: greg@lewisandlewisarchitects.com
Applicant (If different than owner): Gregory Lewis, Lewis + Lewis Architects	Phone #: (914) 315-6454 Fax#:	Email: greg@lewisandlewisarchitects.com
Applicant Address (If different than owner): No. 144 Street: Larchmont Avenue, Unit 1 Town: Larchmont State: NY Zip: 10538	Phone #: (914) 315-6454 Fax#:	Email: greg@lewisandlewisarchitects.com
Representatives & Title: Architect	Phone #: (914) 315-6454 Fax#:	Email: greg@lewisandlewisarchitects.com
Address: No. 144 Street: Larchmont Avenue, Unit 1 Town: Larchmont State: NY Zip: 10538		

AFFIDAVIT OF OWNERSHIP

State of New York
County of Westchester

GREGORY LEWIS

I, _____ being duly sworn;

PRINT NAME LAURENT VASILESCU

Deposes and states; that _____ is the Owner in fee of the premises to which this Application applies; that the Applicant is duly authorized to make this Application; and that the statements made here are true to the best of the Applicant's knowledge and belief, and that the work will be performed in the manner set forth in the Application filled therewith, and in accordance with all applicable laws, ordinances and regulations.

NOTARY SEAL

Signature _____

Sworn to before me this _____ day of _____ 20_____

NOTARY



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120 Larchmont Avenue, Larchmont, New York 10538 Phone (914) 834-4349

10 Dawes Place, Larchmont, NY

ARCHITECTURAL REVIEW BOARD SUBMISSION REQUIREMENTS

The following are minimum presentation requirements.
Additional supporting items may be requested by the reviewing Board.

Incomplete application packages may not be accepted / reviewed

Application

- X Application Form must be 100% complete – No Blank Spaces Please.
- X Six (6) Packets – Each to include

Survey

- X Official stamped survey, (not older than 3 years)
- X Survey must show existing structures, setbacks, and property lines

Site Plan

- X Show area of new work
- X Proposed landscaping
- X Site changes
- X Setbacks and projections
- X Adjacent structures

Photographs

- X Photos of existing building elevations and any other relevant data such as neighboring architecture, or precedents supporting design

Existing Plans and Elevations

- X Not less than 1/8" scale
- X Complete building must be included

Proposed Plans and Elevations

- X Not less than 1/4" scale
- X Complete building must be included, no partial elevations, all sides must be included
- X Areas of new construction should be clearly identified from the existing structure
- X Dimensions must include and identify major walls and features
- X Elevations should identify significant materials, floor-to-floor and roof heights

Details

- X Applicable section and plan details
- X Show material profiles and transitions of key elements such as foundations, windows, doors, eaves, and decorative features

Material Samples

- X Applicants are encouraged to bring to the public meeting applicable material samples

These are minimum presentation requirements; the Board reserves the right to request additional material on a case-by-case basis.



ARCHITECTURAL REVIEW BOARD APPLICATION GUIDELINES

STEPS TO OBTAIN ARB APPROVAL:

1. Submit a complete Architectural Review Board (ARB)
2. Submit all relevant application fee
3. Attend an ARB public hearing with all required submission materials (see page 2). **Both applicant and owner need to be present at ARB hearing.**

ARB REVIEW:

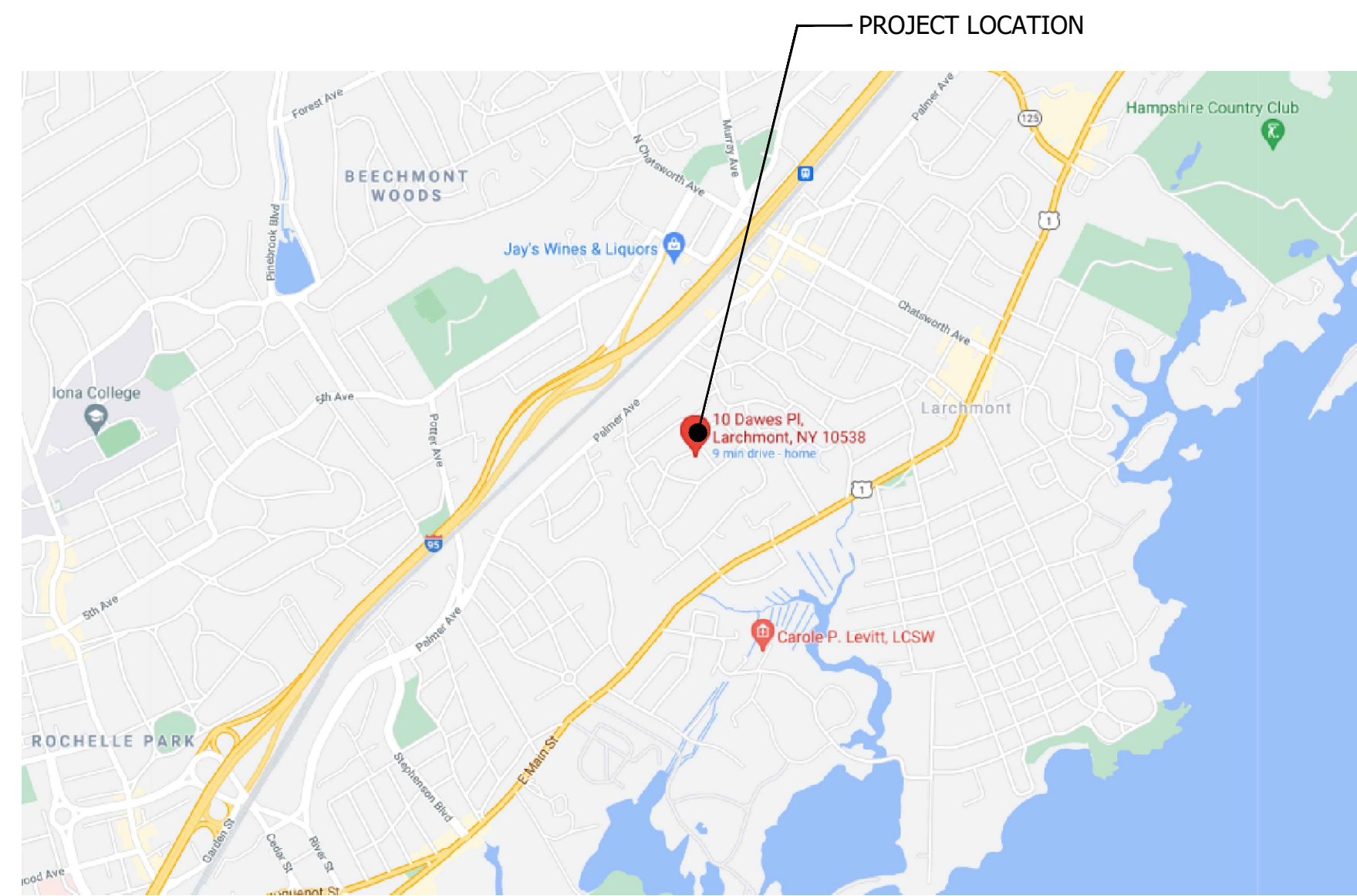
- Applicants must complete the **ARB Application** – (see Page 1)
- As per the **Submission Requirements** – (see Page 2) each application must include: application form, scaled drawings, photographs, material samples, etc.
- Application Fee – check the [Building Department Schedule of Fees](#) for current charges
- Submit six (6) packets for review – (see Page 2)
- Applications will be reviewed and require ARB approval before a permit will be issued
- Please check the [Village calendar](#) for submission deadlines and public hearing dates
- Applications may require Planning and/or Zoning Board approval

All applications must be delivered in person to the Building Department

In order to ensure the most expedient review of your application, please meet all **Submission requirements**

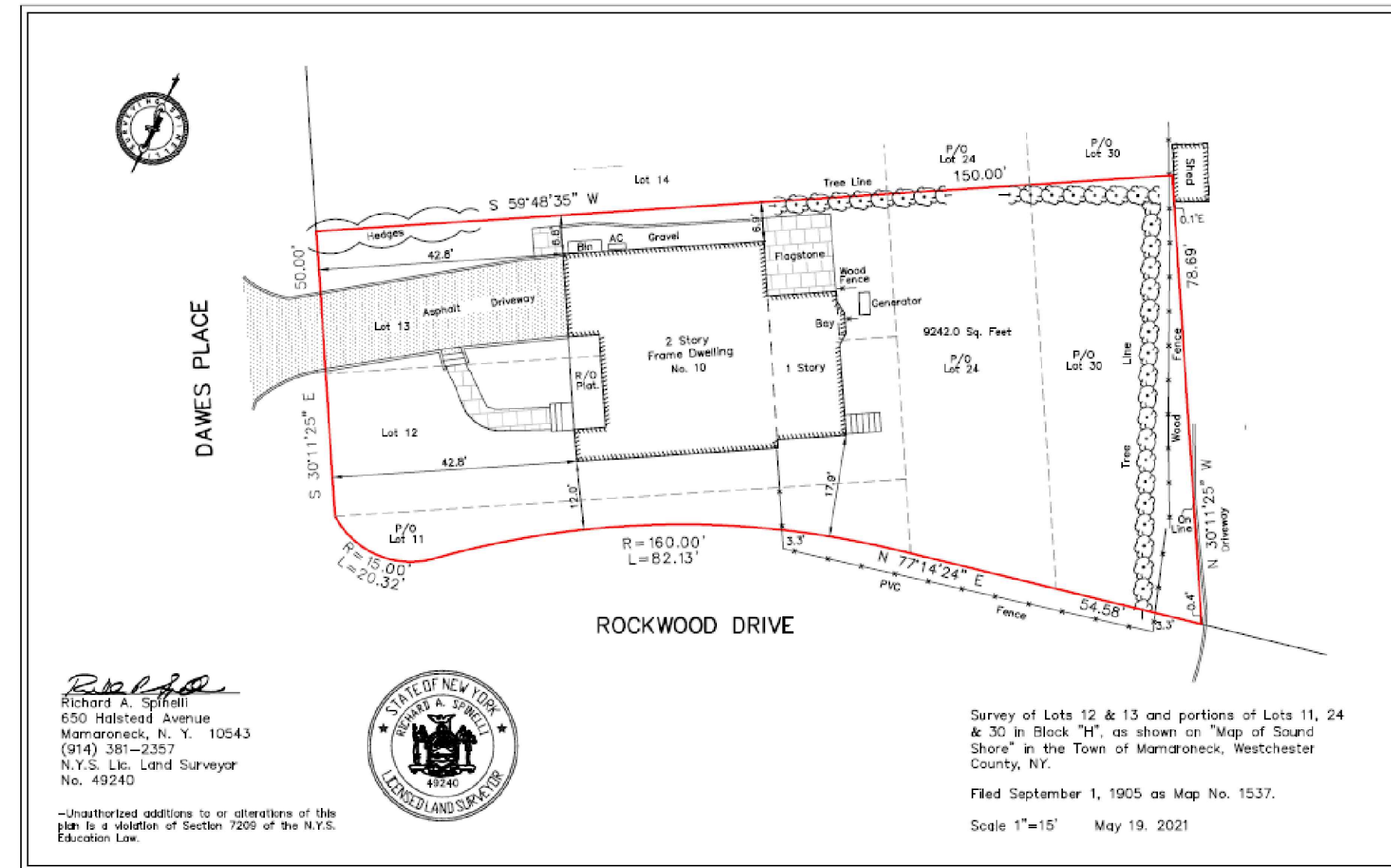
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LOCATION



LOCATION MAP
NO SCALE

SURVEY



SURVEY ORIGINAL DRAWING BY RICHARD A. SPINELLI DATED ON 05/19/2021
NOT TO SCALE NOT A LEGAL SURVEY, FOR REFERENCE ONLY

PROJECT NAME

VASILESCU RESIDENCE

PROPOSED REAR DECK

**10 DAWES PLACE
LARCHMONT, NEW YORK 10538**

CODE AND BUILDING DATA

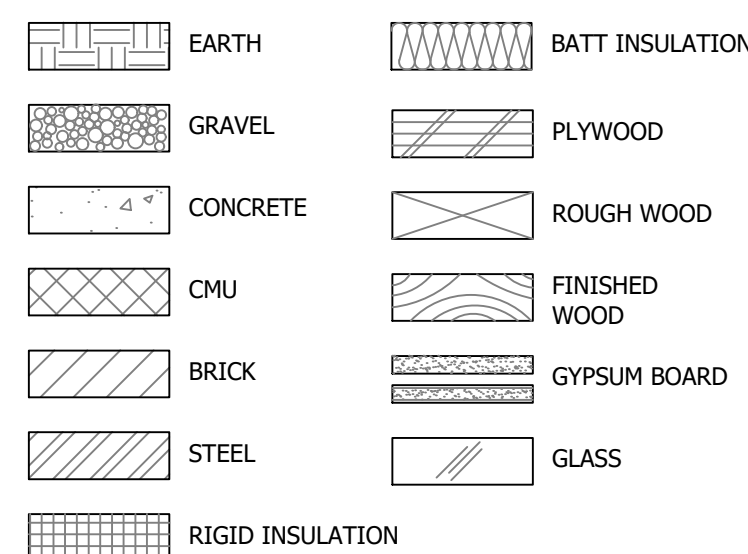
HABITABLE AREA - SQUARE FEET	EXISTING	ADDITION	TOTAL
BASEMENT	0 *	0	0 *
FIRST FLOOR	1,631 *	0	1,631 *
HALF STORY FLOOR	516 *	0	516 *
TOTAL	2,147 *	0	2,147 *

VILLAGE OF LARCHMONT-SCHEDULE OF DIMENSIONAL REGULATIONS
ZONING DISTRICT: R-7.5 LOT SIZE IS: 7,500 SF * 1492.35

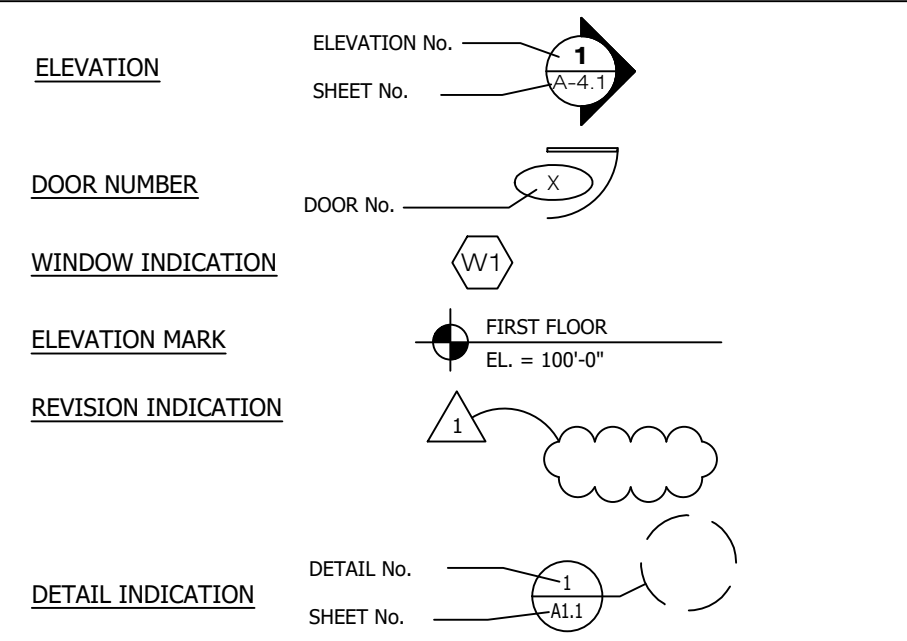
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA - SQUARE FEET	7,500	9,583 *	9,583 *
MINIMUM LOT WIDTH	65'	55.1' *	55.1' *
MINIMUM YARD DIMENSIONS - PRINCIPAL BUILDING			
FRONT YARD (PER 381 ATTACHMENT 2, NOTE 5)	30'	42.8' *	42.8' *
ONE SIDE YARD	10'	6.8' *	6.8' *
FRONT SIDE YARD	30'	12' *	12' *
REAR YARD	25'	59.9' *	59.9' *
REAR YARD TO PROPOSED DECK	-	-	47.9'
	ALLOWED	EXISTING	PROPOSED
MAXIMUM PERCENTAGE OF LOT TO BE OCCUPIED PRINCIPAL BUILDING (2,395 MAXIMUM SF)	25%	15.6% *	15.6% *
MAXIMUM HEIGHT PRINCIPAL BUILDING (STORIES)	2.5	1.5 *	1.5 *
PRINCIPAL BUILDING (FEET)	30'	24.8' *	24.8' *
EXISTING FLOOR AREAS WERE OBTAINED BY TOWN OF MAMARONECK WEB SITE			
GROSS RESIDENTIAL FLOOR AREA PER LOCAL LAW 11-2016 (SQUARE FEET)	ALLOWED	EXISTING	PROPOSED
FIRST FLOOR		1,631 *	1,631 *
HALF STORY FLOOR		516 *	516 *
TOTAL SQUARE FOOTAGE	5,079	2,147 *	2,147 *
TOTAL FLOOR AREA RATIO (THEREFORE, ADJUSTED SIDE SETBACKS DO NOT APPLY)	.53	.22 *	.22 *
LOT COVERAGE PER LOCAL LAW 12-2016	45.4%	29.2%	32.3%

* EXISTING CONDITION, NO CHANGE REQUESTED

MATERIAL



SYMBOLS



SCOPE OF WORK

THE PROJECT SCOPE OF WORK IS:

- REAR DECK ADDITION
- WINDOW REPLACEMENTS

BY OWNER

THE FOLLOWING ITEMS ARE TO BE PROVIDED BY THE OWNER AND INSTALLED BY THE GENERAL CONTRACTOR:

- SURFACE MOUNTED LIGHTS

GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- THE ARCHITECT CERTIFIES THESE DRAWINGS TO BE IN COMPLIANCE WITH THE 2020 RESIDENTIAL CODE OF NYS (ALSO CALLED 2020 IRC) AND THE 2020 ENERGY CONSERVATION CODE OF NYS (ALSO CALLED 2020 EIC). SEE "BUILDING ENVELOPE THERMAL COMPONENTS CRITERIA" FOR ENERGY COMPLIANCE INFORMATION.
- ALL CONSTRUCTION IS TO CONFORM WITH ALL APPLICABLE CODES, ORDINANCES, ETC. INCLUDING THE RESIDENTIAL CODE OF NEW YORK STATE 2020 RESIDENTIAL ENERGY CODE OF NEW YORK STATE.
- THE WORK TO BE PROVIDED ON THIS PROJECT SHALL INCLUDE ALL NECESSARY COMPONENTS EVEN THOUGH NOT SPECIFICALLY MENTIONED OR SHOWN; AND THE CONTRACTOR SHALL NOT AVAIL HIMSELF OF ANY MANIFESTLY UNINTENTIONAL OMISSIONS, SHOULD THEY EXIST. THESE DRAWINGS REPRESENT A "BUILDER SET" OF DRAWINGS AND ARE TO BE USED AS A GUIDE TO THE CONSTRUCTION PROCESS. THEY DO NOT REPRESENT A FULL OR COMPLETE ARCHITECTURAL SERVICE.
- ARCHITECT SUPERVISION OF CONSTRUCTION IS NOT INCLUDED WITH THESE DRAWINGS. THEREFORE THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR WORKMANSHIP, CODE OR PLAN COMPLIANCE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL MATERIALS, DIMENSIONS, DETAILS AND CONDITIONS AND SHALL REPORT ANY ALLEGED DIFFERENCES OR DISCREPANCIES AT ONCE TO THE OWNER.
- IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND REFERENCED STANDARDS OF THESE SPECIFICATIONS THE MORE STRINGENT PROVISIONS SHALL GOVERN.
- STRUCTURAL SPECIFICATIONS AND DRAWINGS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ARCHITECTURAL PRACTICE TO MEET MINIMUM REQUIREMENTS OF THE RESIDENTIAL CODE OF NEW YORK STATE.
- CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE NOR SHALL THEY BE IN EXCESS OF DESIGN LOADING INDICATED ON DRAWINGS.
- ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS MEANS, METHODS, TECHNIQUES OR SEQUENCES OF CONSTRUCTION AND THE SAFETY PROCEDURES EMPLOYED BY HIM.
- BUILDING INSPECTOR NOTE THAT THESE PLANS ARE INVALID...
A. IF ALTERED.
B. IF NOT STAMPED BY A NEW YORK STATE REGISTERED ARCHITECT WHOSE SEAL MUST BE EITHER IMPRESSED OR ORIGINALLY STAMPED.
C. IF NOT COLLATED WITH ALL PRESCRIBED SHEETS, INCLUDING THESE NOTES.
- ALL CHANGES TO THESE PLANS MAY ONLY BE APPROVED WITH THE CONSENT OF THE ARCHITECT AND OWNER.
- ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL BE HANDLED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PROVISIONS. WHERE SPECIFIC MANUFACTURED PRODUCTS ARE CALLED FOR, GENERIC EQUALS, WHICH MEET APPLICABLE STANDARDS AND SPECIFICATIONS, MAY BE USED.
- IN THE ABSENCE OF A SOILS REPORT THE DRAWINGS SHOWING THE FOOTINGS, FOUNDATION AND SLAB ARE TO BE USED AS A GUIDE TO THEIR CONSTRUCTION AND ARE NOT BASED ON ACTUAL SOIL CONDITIONS AT THE CONSTRUCTION SITE.
- ALL INTERIOR AND EXTERIOR INFILL WALLS SHALL BE 2X4 STUDS @ 16" O.C. EXCEPT WHERE NOTED.
- RELOCATE EXISTING SUPPLY AND RETURN DIFFUSERS/DUCTWORK AS REQUIRED.
- ALL EXHAUST FANS, RANGE HOODS AND DRYERS SHALL VENT TO THE OUTSIDE THROUGH SHEET METAL DUCTS. CAULK AROUND ALL PENETRATIONS THROUGH EXTERIOR.
- ALL ELECTRICAL WORK SHALL BE SUPPLIED BY A COMPONENT LICENSED ELECTRICAL CONTRACTOR AND SHALL CONFORM TO THE 1999 ELECTRICAL CODE.
- ALL PLUMBING WORK SHALL CONFORM TO THE 2020 RESIDENTIAL CODE OF NYS AND ALL LOCAL LAWS. ALL PLUMBING WORK SHALL BE PROVIDED BY A LICENSED PLUMBING CONTRACTOR.
- ALL PIPE PENETRATIONS OF FLOOR AND FIRE RATED WALL ASSEMBLIES SHALL HAVE FIRE STOP SEALANT BOTH SIDES TYPICAL OF 3M CP 25N/S CAULK OR ACCEPTABLE EQUAL PER MANUFACTURER'S RECOMMENDATIONS.
- THE ARCHITECT CERTIFIES THESE DRAWINGS ARE IN COMPLIANCE WITH THE 2020 RESIDENTIAL CODE OF NYS FOR TERMITE PROTECTION (R318) BY REQUIRING PRESSURE PRESERVATIVE TREATED WOOD AS DESCRIBED IN SECTION R317.1 AND FOR PROTECTION AGAINST DECAY (R317).
- ALL INSULATION MATERIALS SHALL BE INSTALLED IN COMPLIANCE WITH THE BUILDING CODE. VAPOR BARRIERS SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE INSULATION. NO EXPOSED VAPOR BARRIERS SHALL BE PERMITTED, RATHER VAPOR BARRIERS SHALL BE COVERED WITH CODE COMPLIANT COVERING.
- THE PROPOSED WORK HAS BEEN DESIGNED IN COMPLIANCE WITH THE 2020 NYS ENERGY CODE.

THERMAL CRITERIA

2020 ENERGY CONSERVATION CODE OF NEW YORK STATE
CLIMATE ZONE 4
MINIMUM R-VALUE OF WALLS - R-21
MINIMUM R-VALUE OF CEILINGS - R-49
MINIMUM U-VALUE OF FENESTRATIONS - U-32

CLIMATIC AND GEOGRAPHICAL CRITERIA

2020 RESIDENTIAL CODE OF NEW YORK STATE
GROUND SNOW LOAD : 30 PSF
WIND SPEED : 110 MPH
SEISMIC DESIGN CATEGORY : C
FROST DEPTH : 42"
WEATHERING : SEVERE
TERMITE : MODERATE TO HEAVY
FLOOD HAZARD : NOT APPLICABLE

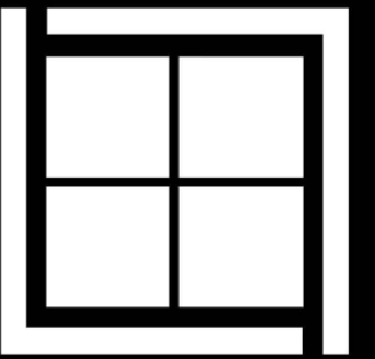
PSF = POUNDS PER SQUARE FOOT

STRUCTURAL CRITERIA

2020 RESIDENTIAL CODE OF NEW YORK STATE
LIVE LOAD:
LIVING AREAS AND DECK : 40 PSF
BEDROOMS : 30 PSF
DEAD LOAD : 10 PSF
GROUND SNOW LOAD: 30 PSF
ALL STRUCTURAL LUMBER SHALL BE:
DOUGLAS FIR #2, $f_b=900$, $E=1,400,000$ (OR BETTER)
PSF = POUNDS PER SQUARE FOOT

DRAWING INDEX

- T-1 TITLE SHEET
- A-0.0 ADJACENT PROPERTIES
- A-0.1 NEIGHBORING PROPERTIES
- A-1.0 EXISTING AND PROPOSED SITE PLANS
- A-1.1 EXISTING AND PROPOSED LANDSCAPE PLANS
- A-2 EXISTING FIRST FLOOR PLAN
- A-3 DEMOLITION PLAN
- A-4 PROPOSED FIRST FLOOR PLAN
- A-5 PROPOSED RCP AND ELECTRICAL PLAN
- A-6 PROPOSED STRUCTURAL AND FOUNDATION PLAN
- A-7 EXTERIOR ELEVATIONS
- A-8 EXTERIOR ELEVATIONS
- A-9 SPECIFICATIONS



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ISSUED / REVISIONS

DESCRIPTION	DATE
PLANNING CONSULTANT	07/16/2021
PRE-SUBMISSION SUBMITTAL	08/13/2021
PRE-SUBMISSION MEETING	10/06/2021
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VOL PLANNING MEETING	11/16/2021
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VOL ZBA MEETING	01/05/2022
ZBA MEETING APPROVAL	01/05/2022
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ARB SUBMITTAL	03/17/2022
ARB MEETING	03/30/2022

VASILESCU

**PROPOSED
REAR DECK**

10 Dawes Place
Larchmont
New York 10538

NOTES



SHEET DESCRIPTION:

TITLE SHEET

SHEET No.

T-1

PHASE:

VILLAGE BOARDS



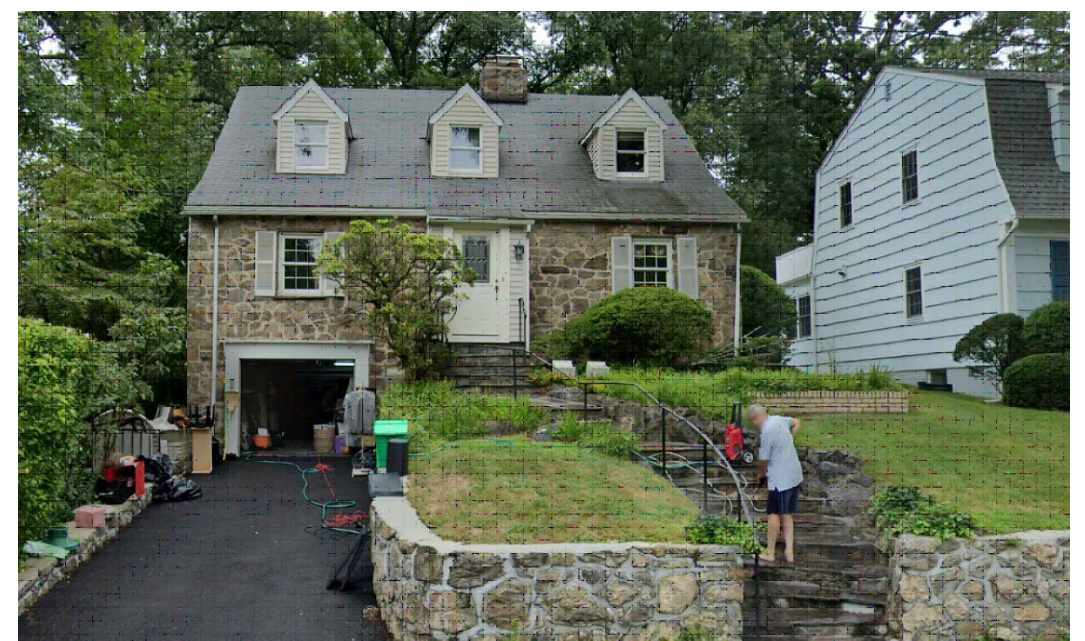
1 - 10 DAWES PLACE FRONT



3 - 10 DAWES PL LEFT



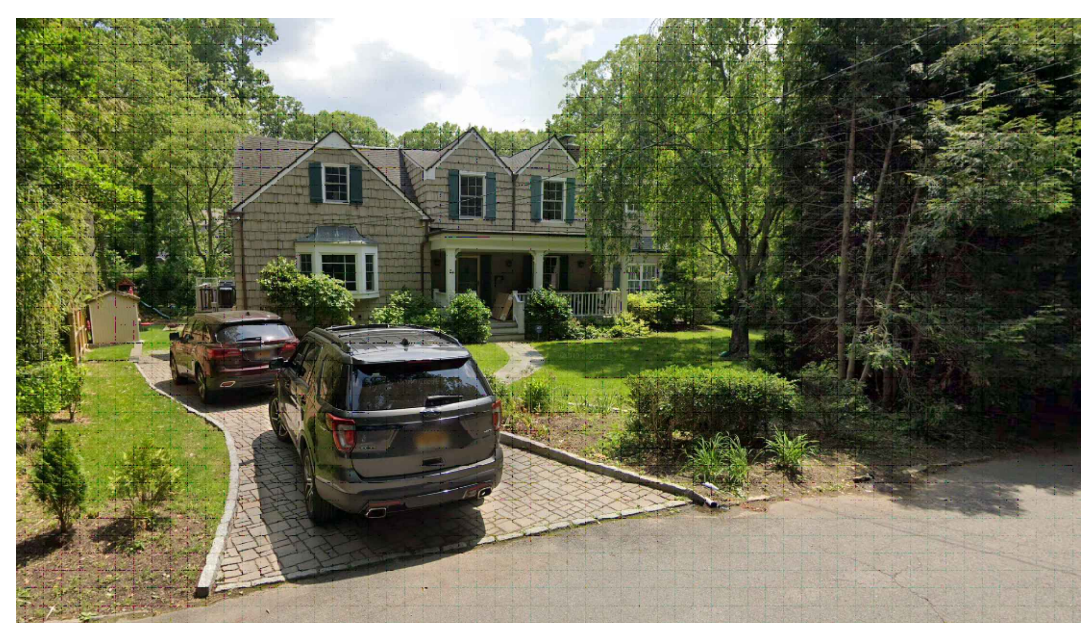
5 - 8 DAWES PL



7 - 7 DAWES PL



9 - 18 ROCKWOOD DR



11 - 25 ROCKWOOD DR



2 - 10 DAWES PLACE RIGHT



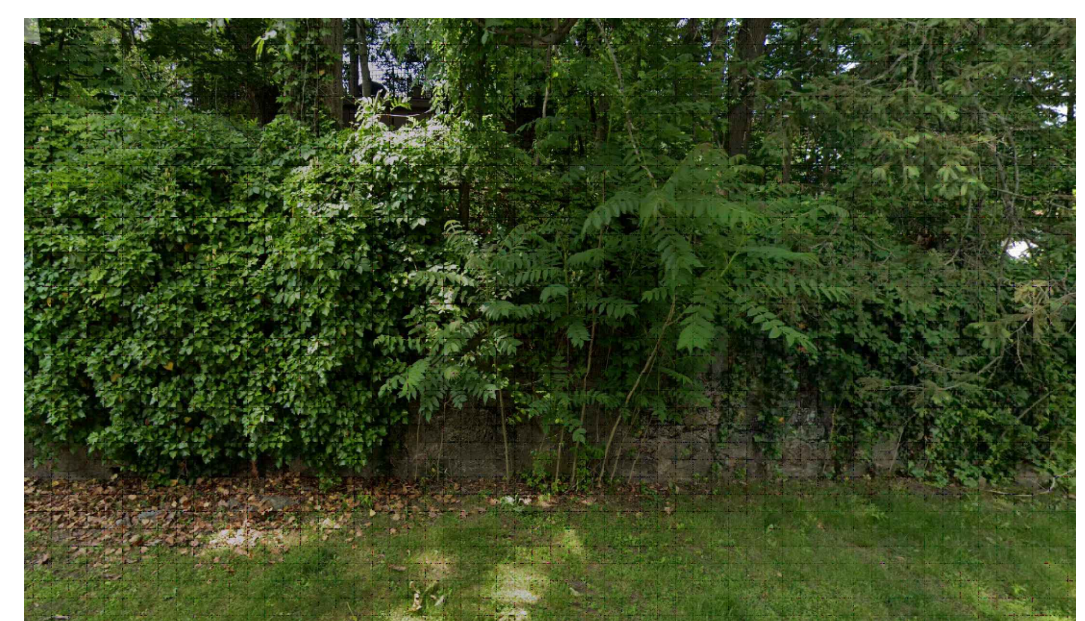
4 - 10 DAWES PL REAR



6 - 5 DAWES PL



8 - 17 ROCKWOOD DR



10 - 22 ROCKWOOD DR

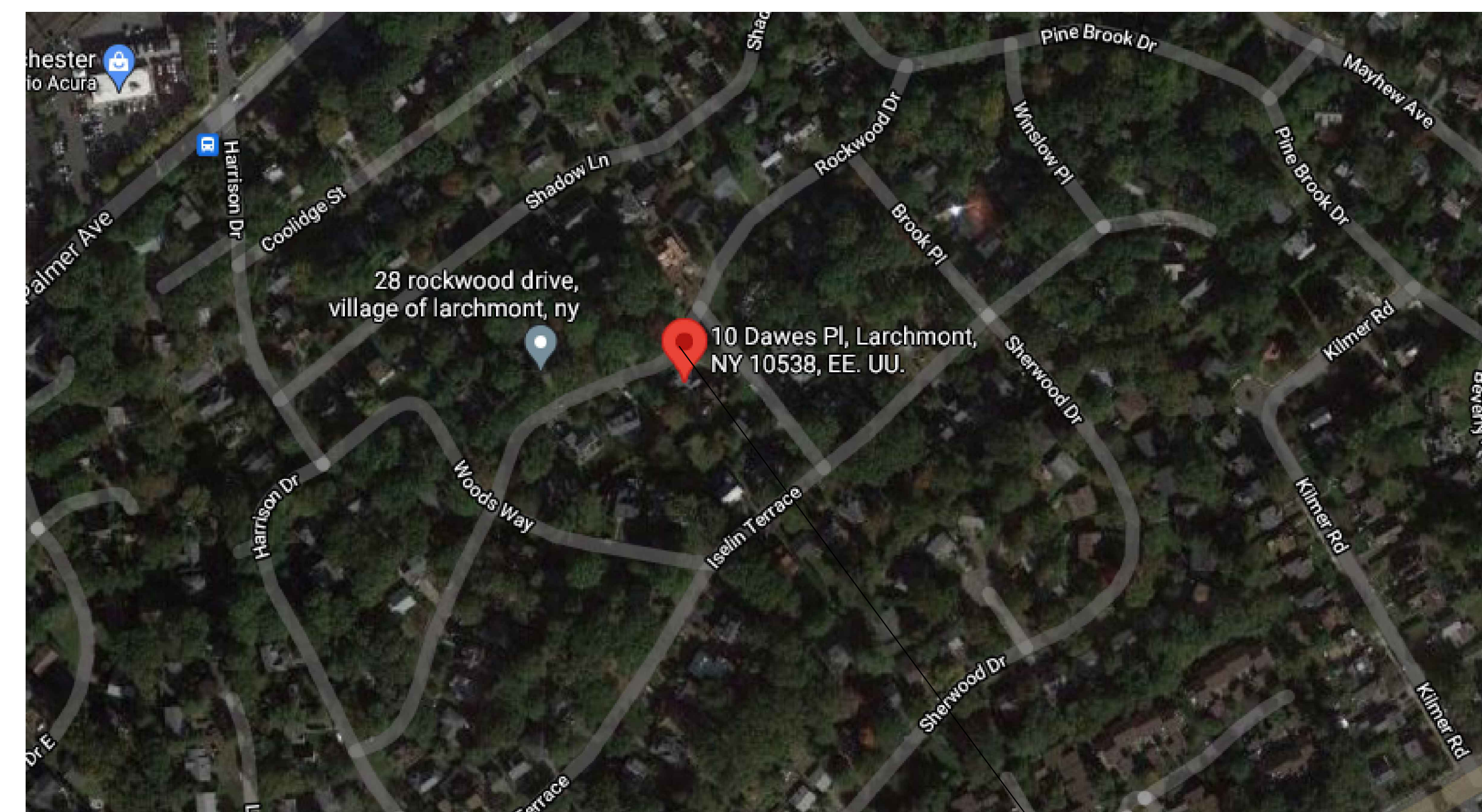


12 - 28 ROCKWOOD DR



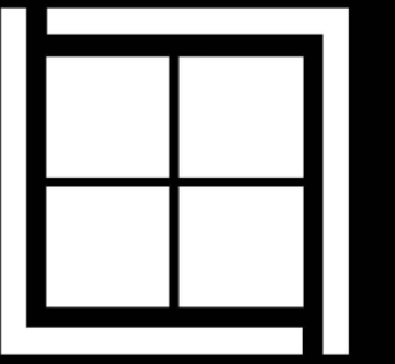
AERIAL MAP
N.T.S.

LOCATION AND DIRECTION OF PHOTOGRAPH



AERIAL MAP
N.T.S.

SITE LOCATION



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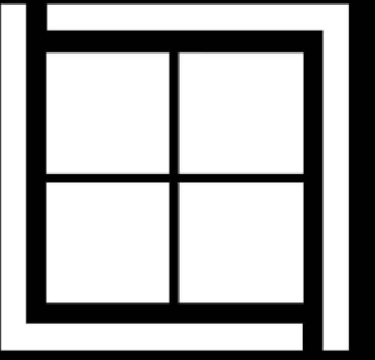
ADJACENT
PROPERTIES

SHEET No.

A-0.0

PHASE:

VILLAGE BOARDS



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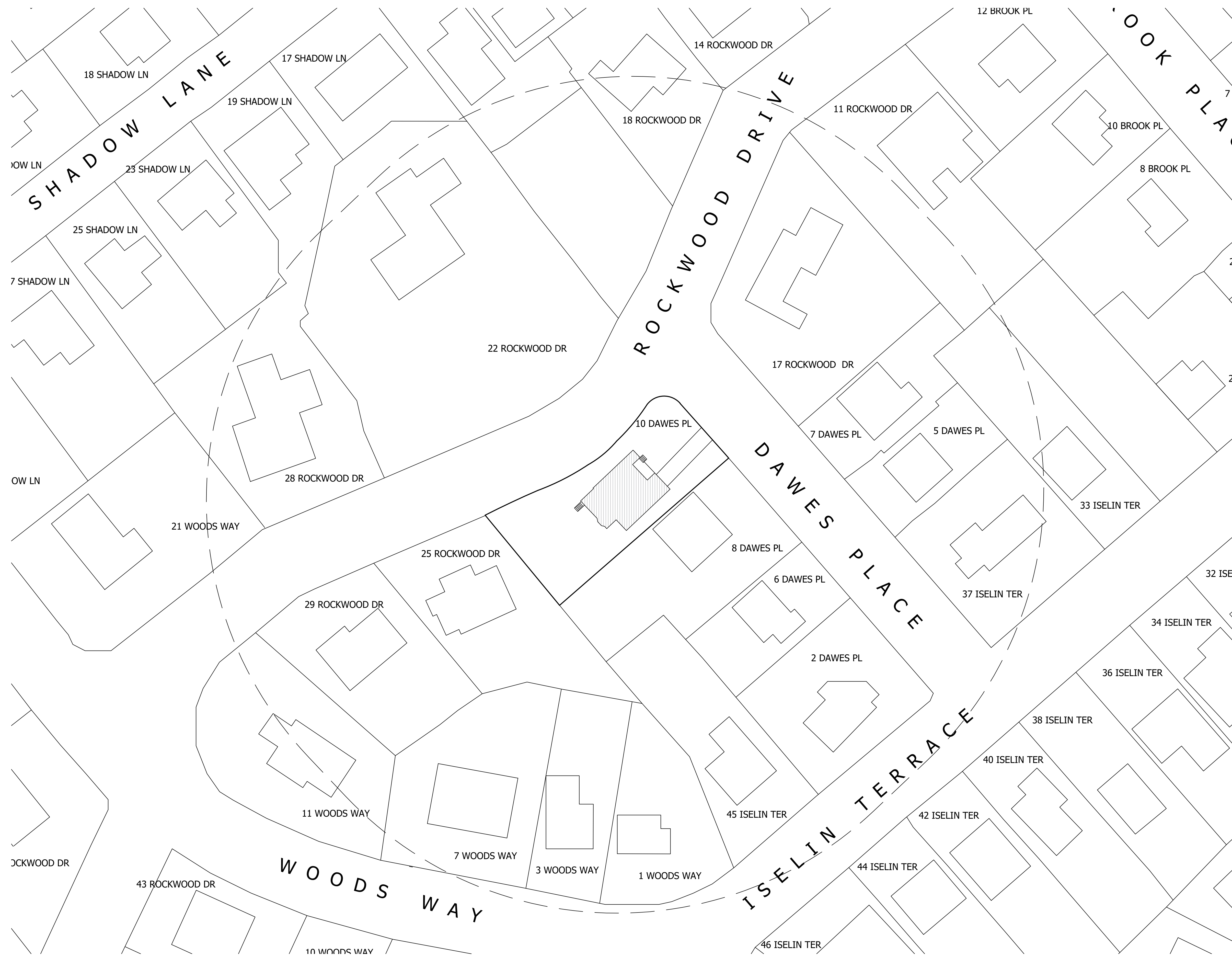
NEIGHBORING
PROPERTIES

SHEET No.

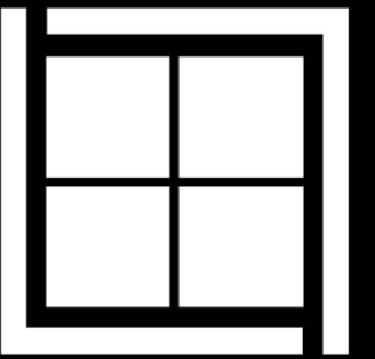
A-0.1

PHASE:

VILLAGE BOARDS



AERIAL MAP
N.T.S.



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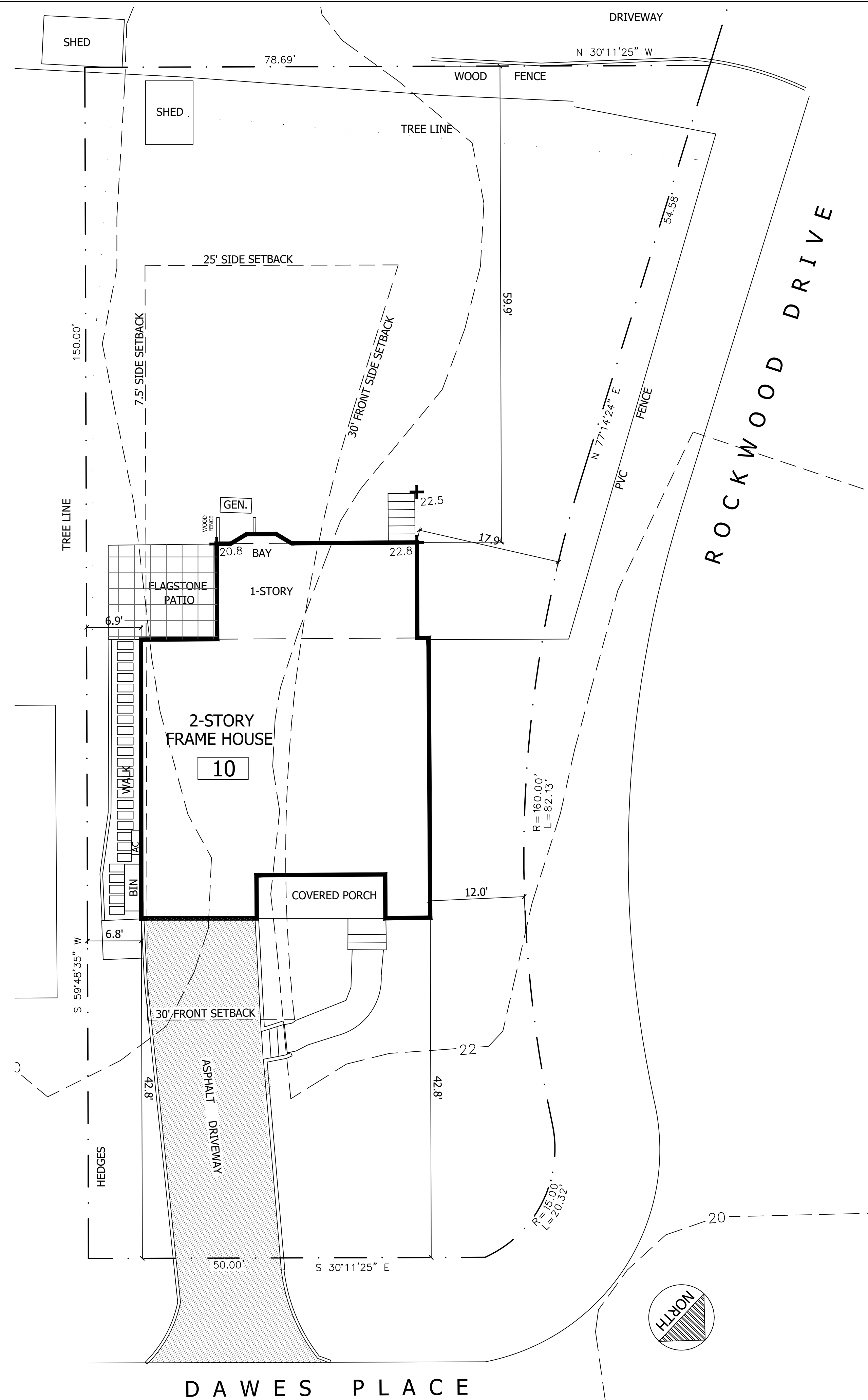
SHEET DESCRIPTION:
EXISTING AND PROPOSED SITE PLANS

SHEET No.

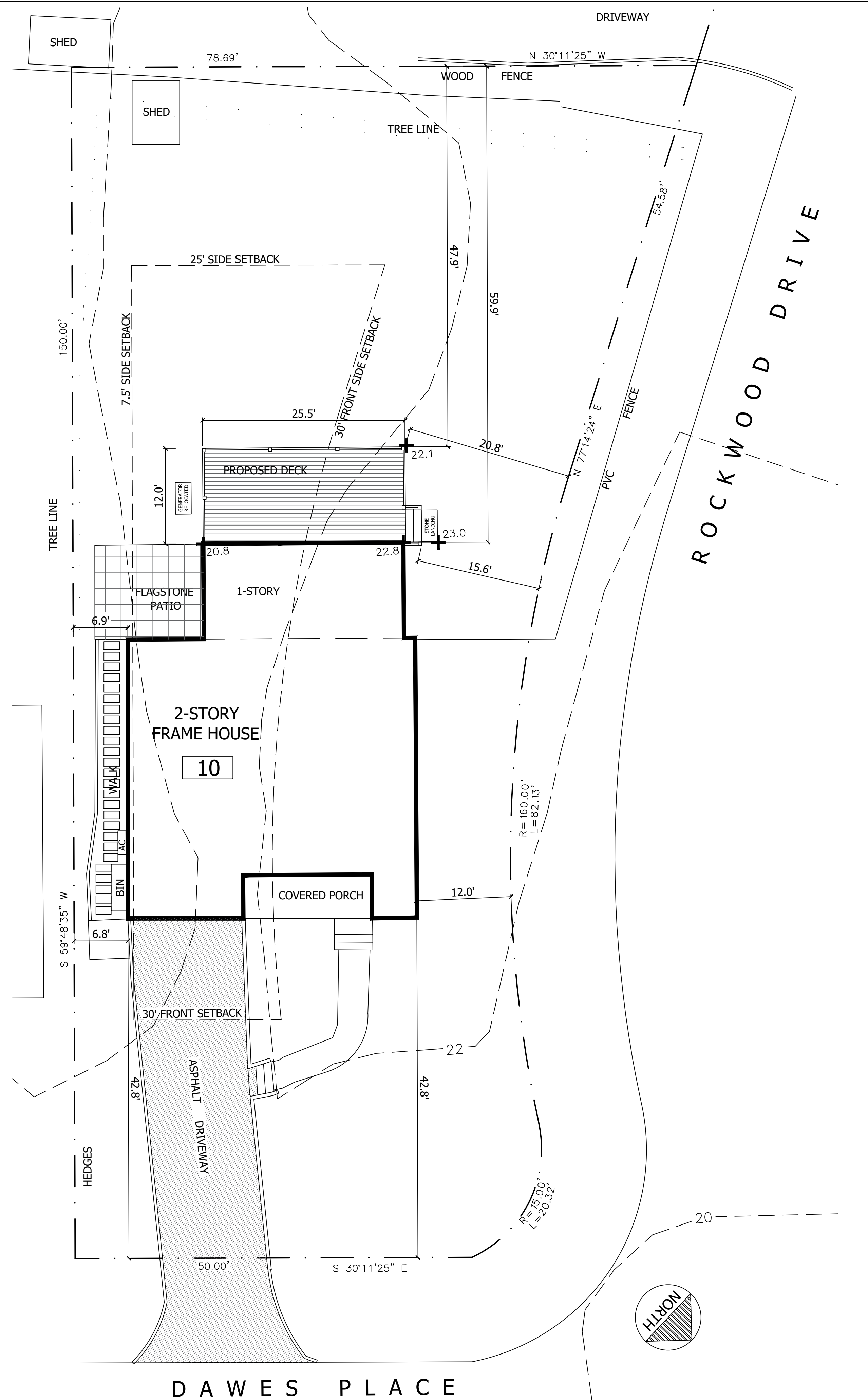
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PHASE:

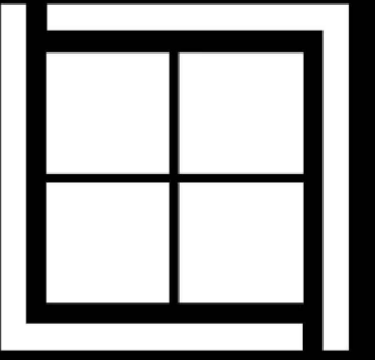
VILLAGE BOARDS



1 EXISTING SITE PLAN
SCALE : 1 / 8" = 1'-0"



2 PROPOSED SITE PLAN
SCALE : 1 / 8" = 1'-0"



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PLANNING BOARD MEETING	02/15/2022
ARB SUBMITTAL	03/17/2022
ARB MEETING	03/30/2022

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PROPOSED REAR DECK

10 Dawes Place
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NOTES



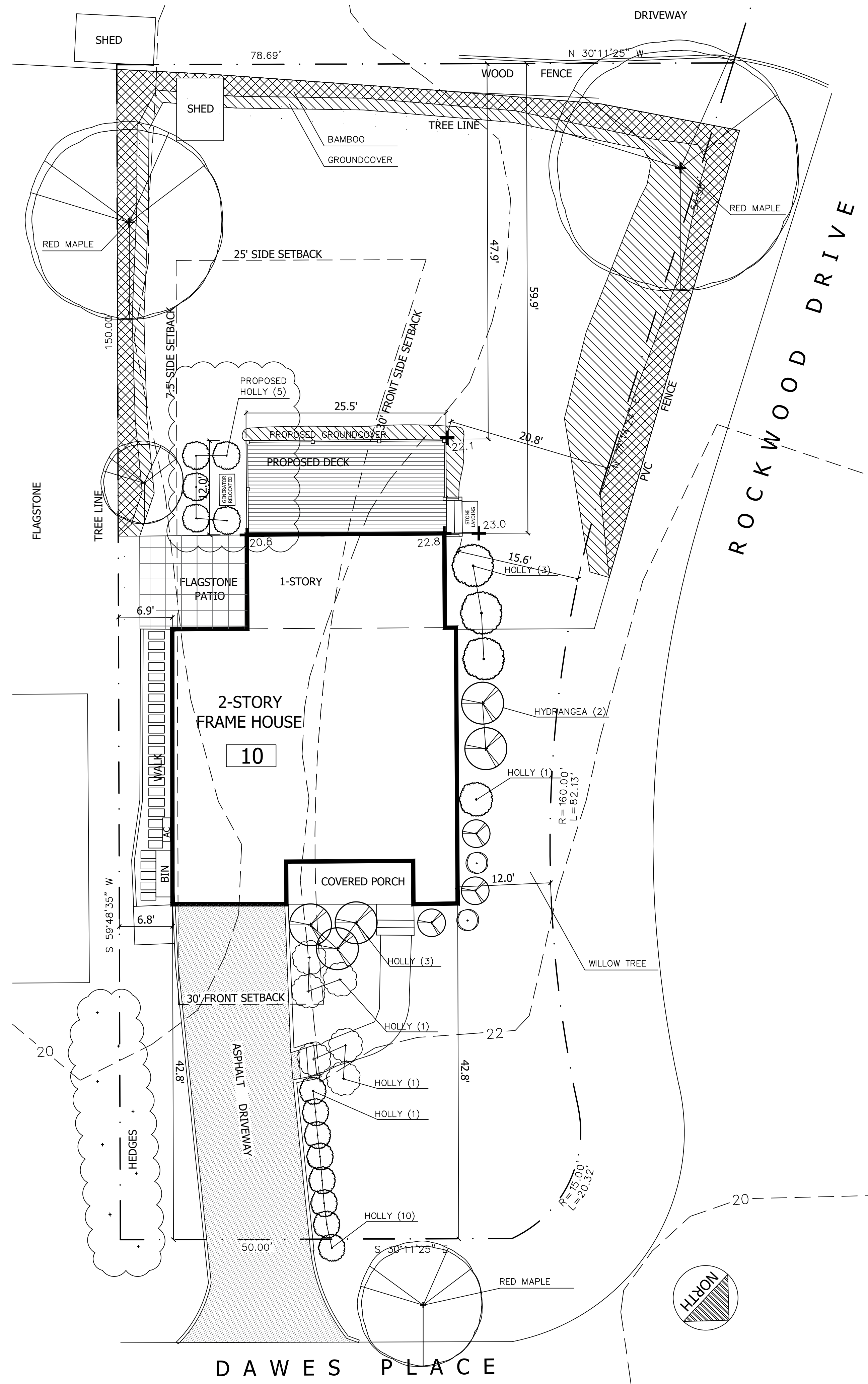
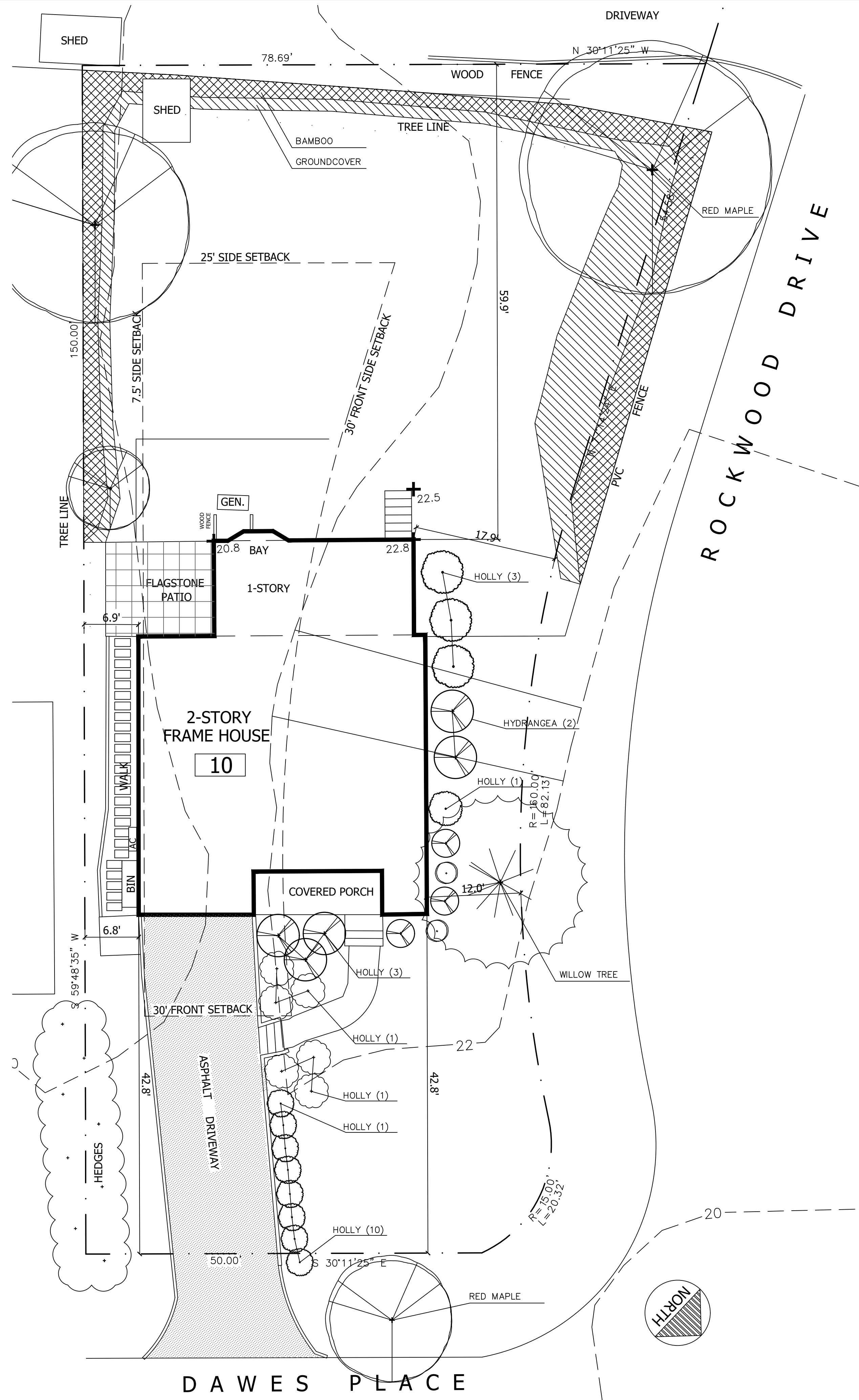
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EXISTING AND PROPOSED LANDSCAPE PLANS

SHEET No.

A-1.1

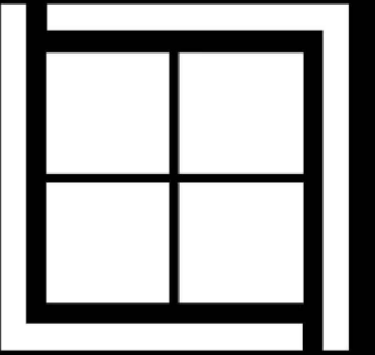
PHASE:

VILLAGE BOARDS



1 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"

2 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



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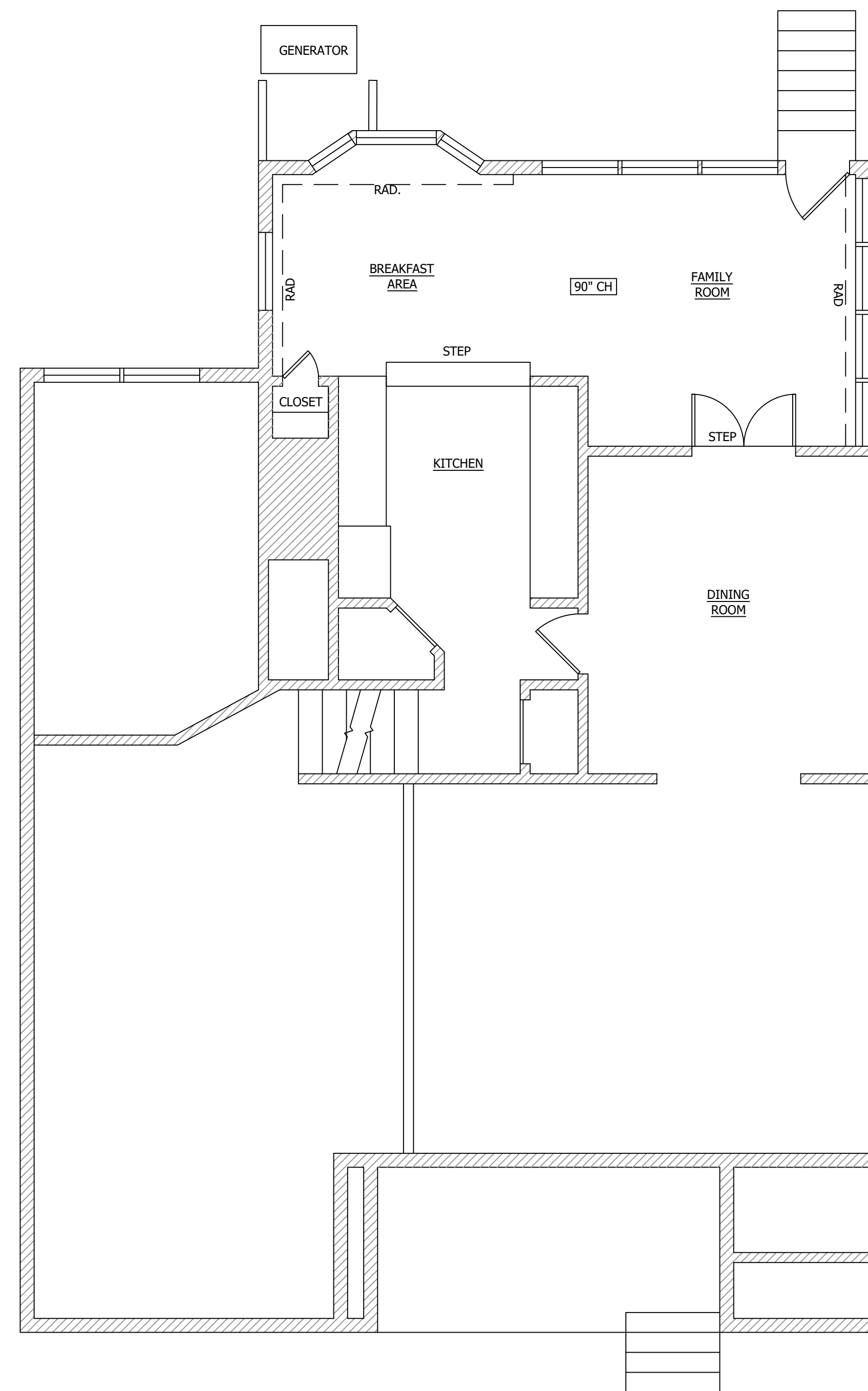
EXISTING FIRST
FLOOR PLAN

SHEET No.

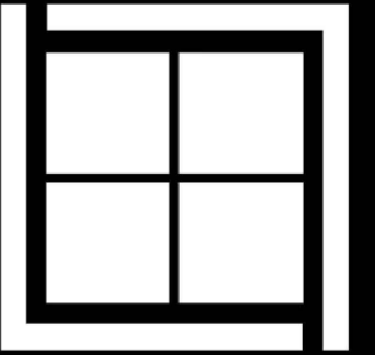
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PHASE:

VILLAGE BOARDS



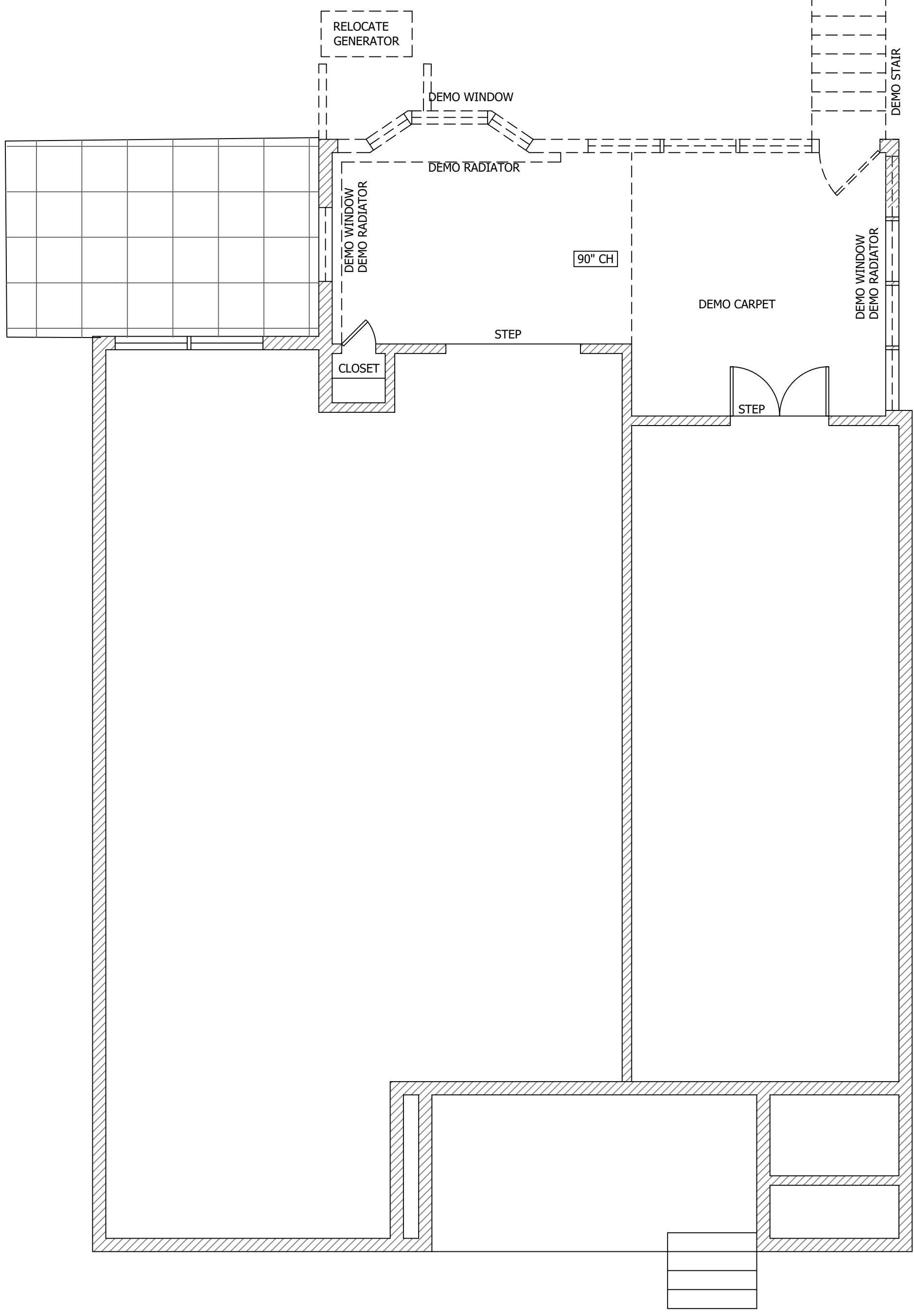
1 EXISTING FIRST FLOOR PLAN
SCALE : 1 / 4" = 1'-0"



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DEMOLITION NOTES – TYPICAL	DEMOLITION LEGEND
1. REMOVE EXISTING CONSTRUCTION AS REQUIRED TO BUILD PROPOSED LAYOUT.	EXISTING PARTITION TO REMAIN
2. RELOCATE EXISTING MECHANICAL/ELECTRICAL/PLUMBING AS REQUIRED FOR NEW LAYOUT.	EXISTING CONSTRUCTION TO BE REMOVED
3. PROVIDE DOUBLE VISQUEEN DUST BARRIER AT ALL DEMOLITION.	INDICATES THE COMPLETE REMOVAL OF FLOOR OR ROOF STRUCTURE.
4. GENERAL CONTRACTOR RESPONSIBLE FOR ADHERENCE TO ALL LEAD, ASBESTOS, ETC. ABATEMENT PROCEDURES PER EPA STANDARDS.	INDICATES THE COMPLETE REMOVAL OF THE EXISTING WOOD FLOORING. SALVAGE WOOD FOR FLOORING INFILL.
5. PROTECT EXISTING HOUSE FROM DAMAGE DURING DEMOLITION.	EXISTING DOOR TO BE REMOVED.
6. REMOVE AND PROPERLY DISPOSE OF ALL DEMOLITION DEBRIS FROM THE CONSTRUCTION SITE.	



1 FIRST FLOOR DEMOLITION PLAN
SCALE : 1 / 4" = 1'-0"

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SHEET DESCRIPTION:

DEMOLITION PLAN

SHEET No.

A-3

PHASE:

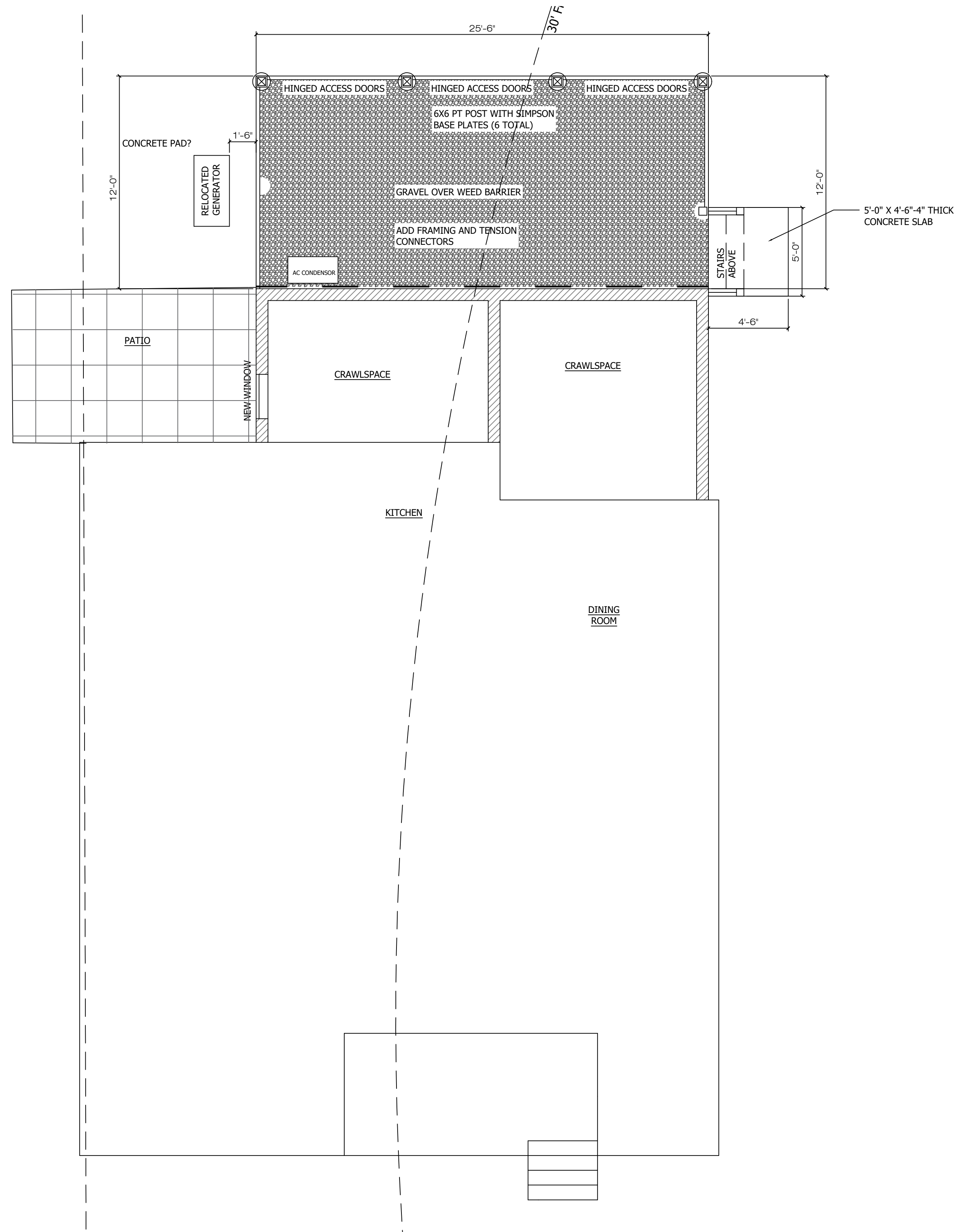
VILLAGE BOARDS

STRUCTURAL GENERAL NOTES

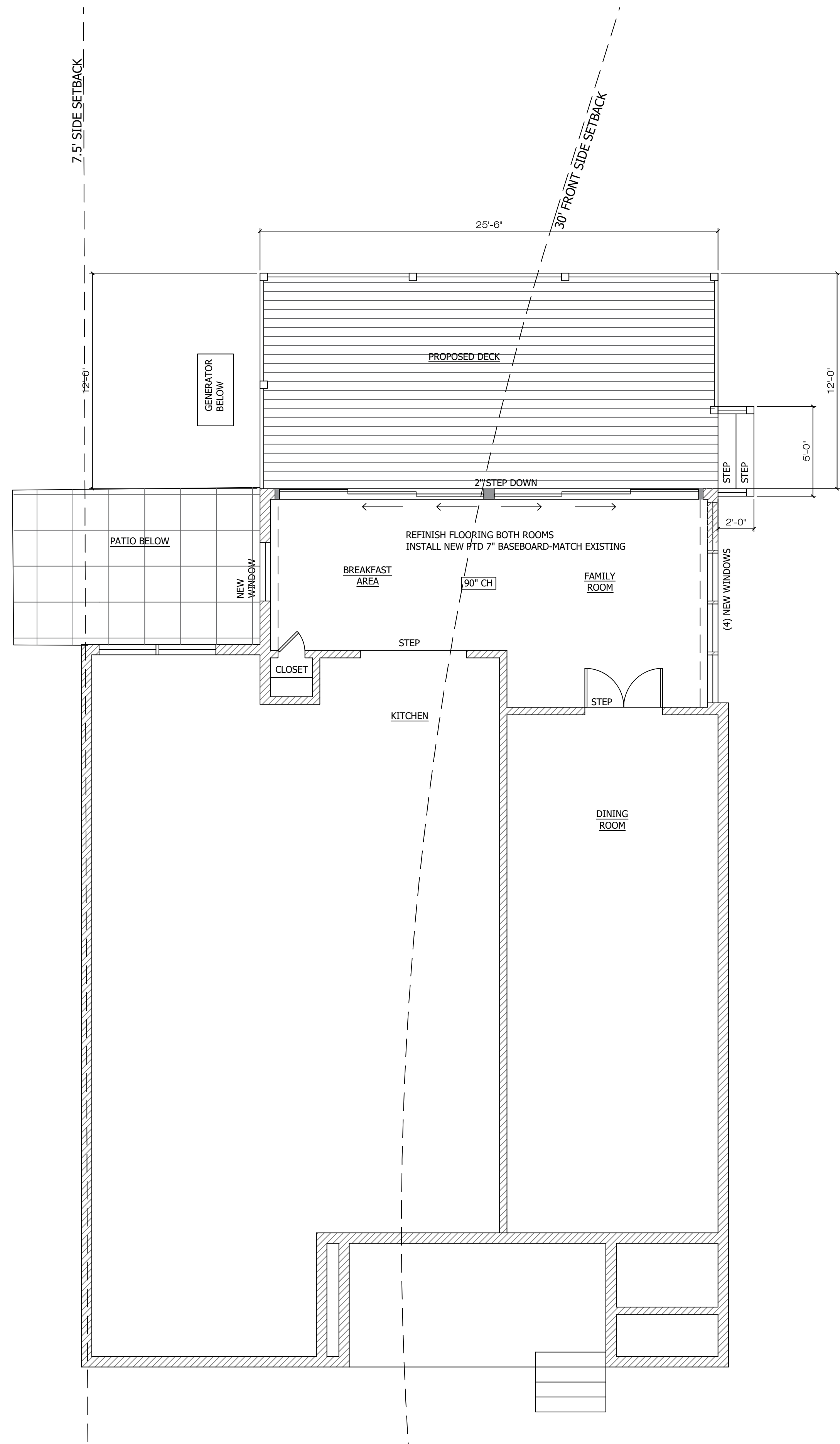
1. PROVIDE (2)2X10 HEADERS AT ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED.
2. FRAMING PLANS FOR ILLUSTRATIVE PURPOSES ONLY. NOT ALL MEMBERS SHOWN.
3. PROVIDE 3" MINIMUM BEARING AT ALL BEAMS.
4. PROVIDE 1 1/2" MINIMUM BEARING AT ALL HEADERS.
5. ALL EXTERIOR WALLS TO BE 2X6 STUDS AT 16" O.C. (2X4 AT INTERIOR WALLS U.N.O.)
6. NOTCH COLUMNS AT EXTERIOR BEAMS (OR PROVIDE SIMPSON CONNECTORS).
7. MAINTAIN 6"-8" MINIMUM HEAD CLEARANCE AT ALL STAIRS
8. FIRE CAULK AT ALL FLOOR PENETRATIONS
9. ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR #2 (OR BETTER).
10. PROVIDE SIMPSON CONNECTORS AS REQUIRED AT BEAMS/COLUMNS
11. SISTER 2X6'S TO EXISTING CEILING JOISTS AS REQUIRED TO LEVEL CEILINGS

FLOOR PLAN SYMBOL LEGEND

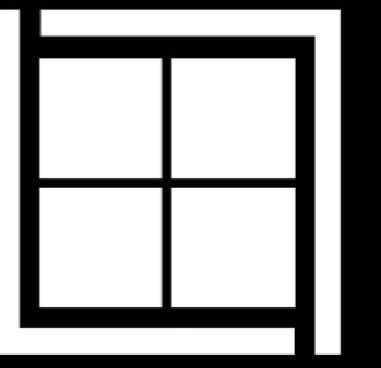
- (X) DOOR SYMBOL-SEE DOOR SCHEDULE
- (X) WINDOW SYMBOL-SEE WINDOW SCHEDULE
- EXISTING CONSTRUCTION
- NEW WOOD FRAMED WALLS
- 2X4 @ 16" O.C. @ INTERIOR WALLS
- 2X6 @ 16" O.C. @ EXTERIOR WALLS (R-21)
- (UNLESS NOTED OTHERWISE)



1 PROPOSED FOUNDATION PLAN
SCALE : 1 / 4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
SCALE : 1 / 4" = 1'-0"



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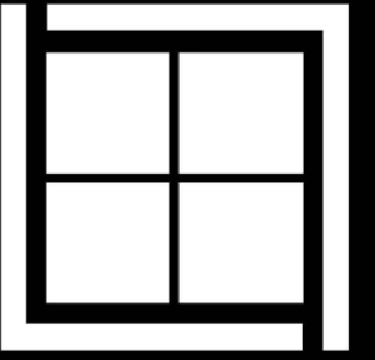
NOTES



SHEET DESCRIPTION:
**PROPOSED FIRST
FLOOR PLAN**

SHEET No.
A-4

PHASE:
VILLAGE BOARDS



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SHEET DESCRIPTION:

PROPOSED RCP AND ELECTRICAL PLAN

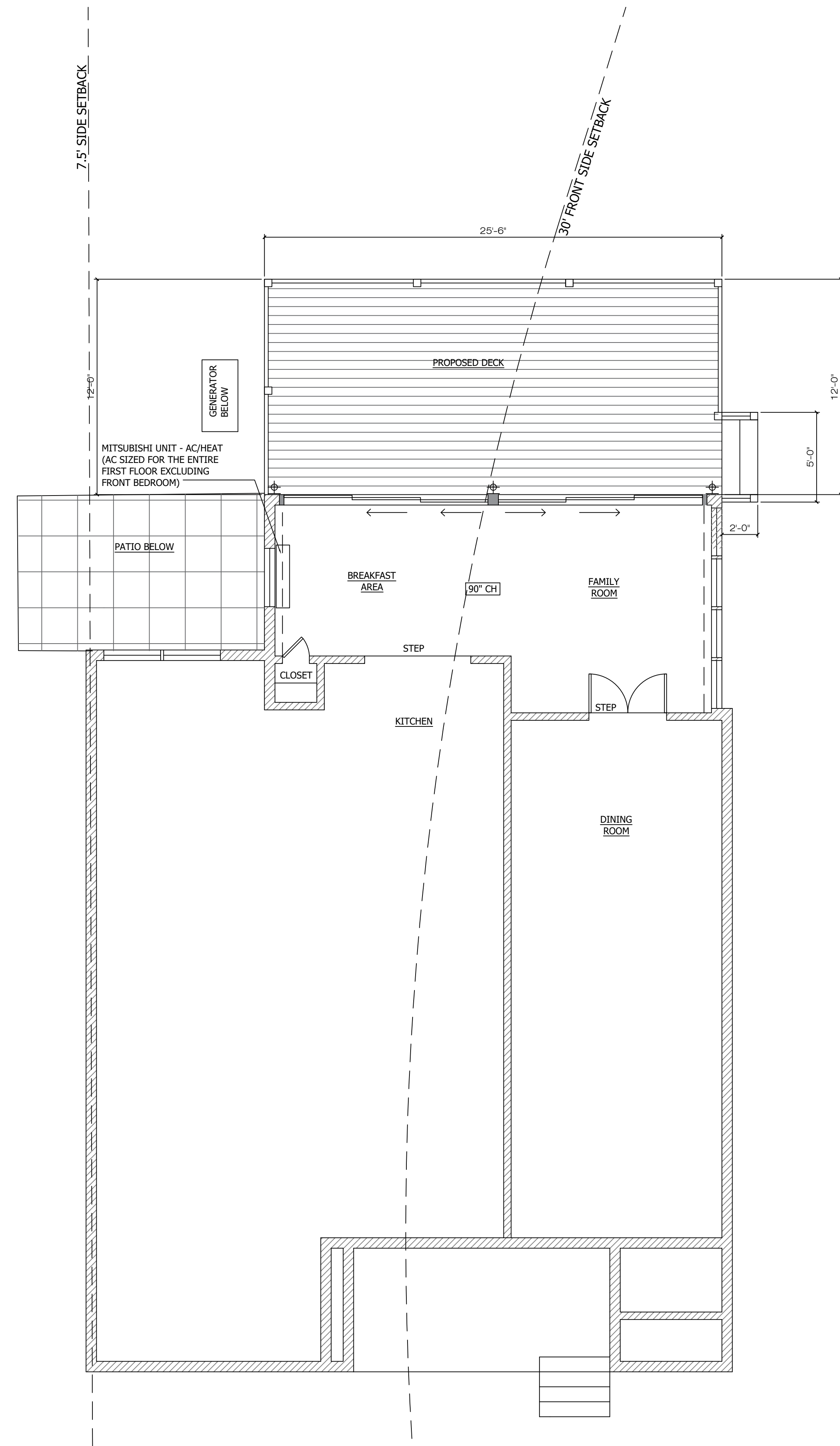
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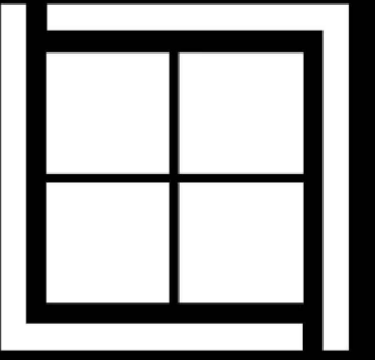
PHASE:

VILLAGE BOARDS

ELECTRICAL LEGEND		GENERAL LIGHTING / ELECTRICAL NOTES
	CEILING MOUNTED PENDANT FIXTURE * VERIFY LOCATION WITH OWNER	1. CENTER LIGHTS AND FAN/LIGHT J-BOXES IN ROOMS. 2. CENTER OUTLETS ON WALLS OR UNDER WINDOWS. 3. PROVIDE INDEPENDENT CIRCUITS (OR SUB-PANEL) AS REQUIRED BY CODE. 4. SPACE DOWNLIGHTS EQUALLY ALONG LINE OF DOWNLIGHTS. 5. HARD WIRE, BATTERY BACKUP AND INTERCONNECTED SMOKE + CARBON MONOXIDE DETECTORS. 6. PROVIDE SMOKE AND CARBON MONOXIDE DETECTORS ON EACH FLOOR. 7. PROVIDE SMOKE DETECTORS IN ALL BEDROOMS. 8. PROVIDE NEW GFCI OUTLETS AT ALL WET LOCATIONS. 9. OWNER TO PROVIDE ALL SURFACE AND PENDANT MOUNTED FIXTURES (SEE * ABOVE) AND TO BE INSTALLED BY THE CONTRACTOR. 10. PROVIDE SAMPLE OF DIMMER AND DOWNLIGHT TO OWNER PRIOR TO INSTALLATION. 11. SEE FLOOR PLANS FOR KITCHEN APPLIANCE LOCATIONS. 12. PROVIDE WEATHERPROOF GFI OUTLETS AT ALL EXTERIOR LOCATIONS. 13. ALL OUTLETS, SWITCHES, ETC TO BE DECORA STYLE. 14. FIRE CAULK ALL FLOOR PENETRATIONS. 15. PROVIDE 10 DIMMERS PER OWNER'S LOCATION DISCRETION. 16. ALL FIXTURES INDICATED WITH * ARE OWNER PROVIDED/CONTRACTOR INSTALLED.
	CEILING MOUNTED FAN OR FAN/LIGHT * VERIFY LOCATION WITH OWNER	
	CEILING MOUNTED LIGHT *	
	EXISTING FIXTURE - REPLACE TRIM KIT	
	EXISTING LIGHT FIXTURE TO BE REUSED	
	WALL SCONCE *	
	4" RECESSED LED DOWNLIGHT	
	CATV OUTLET-CAT6 PLUS COAXIAL CABLE	
	NEW 200 AMP ELECTRICAL PANEL	
	PHONE JACK	
	2" LED CABINET LIGHT	
	DOORBELL	
	THERMOSTAT FOR ELECTRIC HEATED FLOOR	
	MOTION ACTIVATED FIXTURE	
	4" RECESSED SLOPED LED DOWNLIGHT	
	DECORA LIGHT SWITCH	
	DECORA LIGHT SWITCH, 3-WAY	
	DECORA LIGHT SWITCH, 4-WAY	
	EXISTING LIGHT SWITCH	
	DOORBELL	
	DECORA DUPLEX OUTLET	
	FLOOR OUTLET	
	EXHAUST FAN-VENT TO OUTSIDE	
	SMOKE DETECTOR	
	CARBON MONOXIDE DETECTOR	
	UNDERCABINET LED LIGHTING	
	MOTION LED LIGHT	
	THIN SURFACE MOUNT LED LIGHT	
	WOOD SUPPLY GRILL - MATCH HARDWOOD FLR	
	RETURN GRILL	
	DUCTWORK ABOVE IN THE ATTIC	
	IN VANITY	



1 PROPOSED FIRST FLOOR RCP AND ELECTRICAL PLAN
SCALE : 1 / 4" = 1'-0"



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NOTES



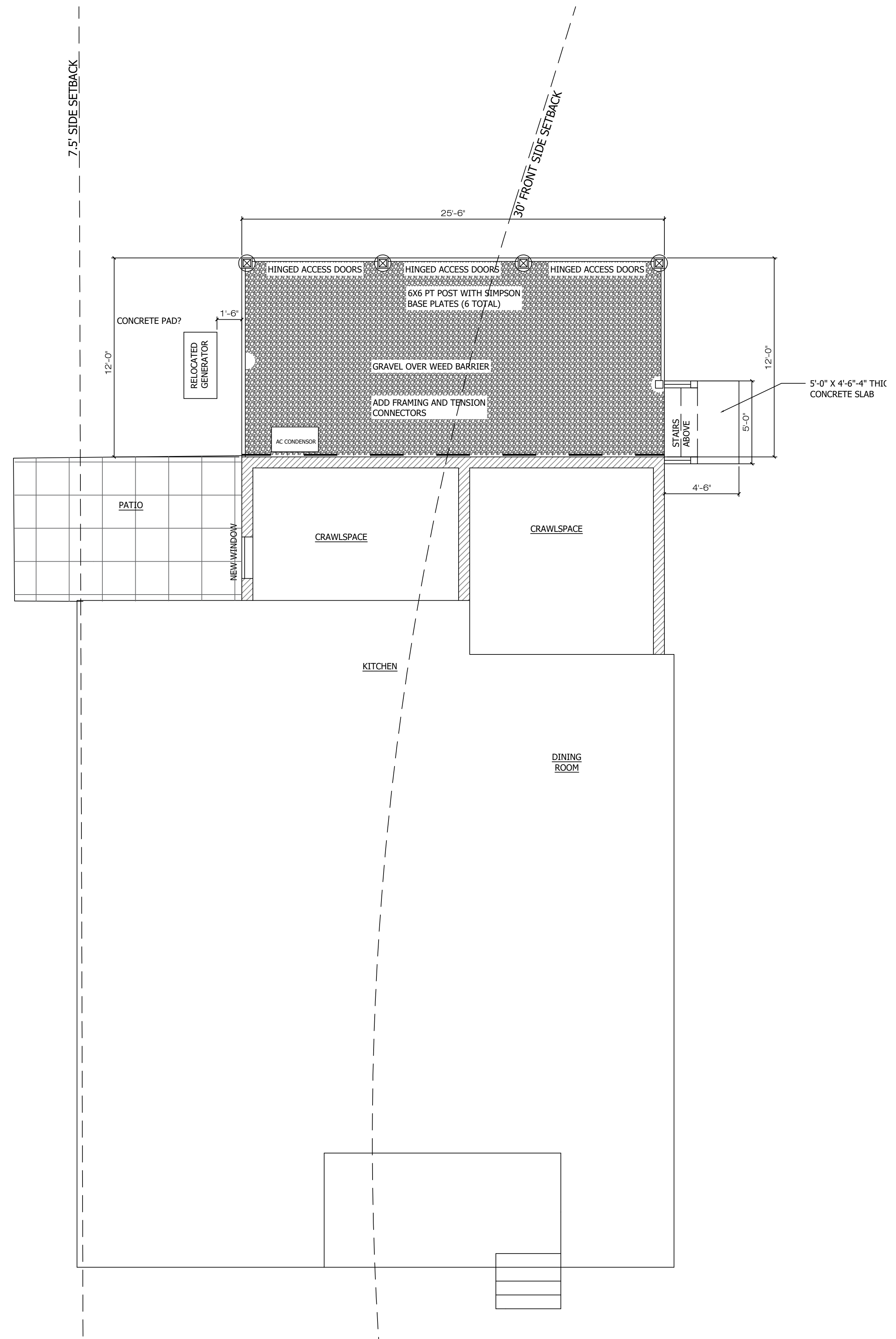
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PROPOSED STRUCTURAL AND FOUNDATION PLAN

SHEET No.

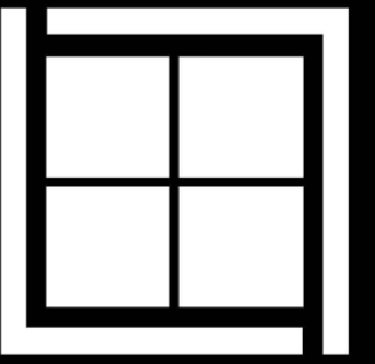
A-6

PHASE:

VILLAGE BOARDS



1 PROPOSED FIRST FLOOR STRUCTURAL AND FOUNDATION PLAN
SCALE : 1 / 4" = 1'-0"



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SHEET DESCRIPTION:

EXTERIOR
ELEVATIONS

SHEET No.

A-7

PHASE:

VILLAGE BOARDS



1 EXISTING FRONT ELEVATION - NO CHANGE
SCALE : 1 / 4" = 1'-0"



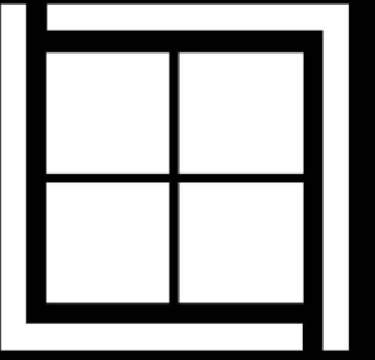
3 EXISTING RIGHT ELEVATION
SCALE : 1 / 4" = 1'-0"



2 PROPOSED FRONT ELEVATION - NO CHANGE
SCALE : 1 / 4" = 1'-0"



4 PROPOSED RIGHT ELEVATION
SCALE : 1 / 4" = 1'-0"



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EXTERIOR
ELEVATIONS

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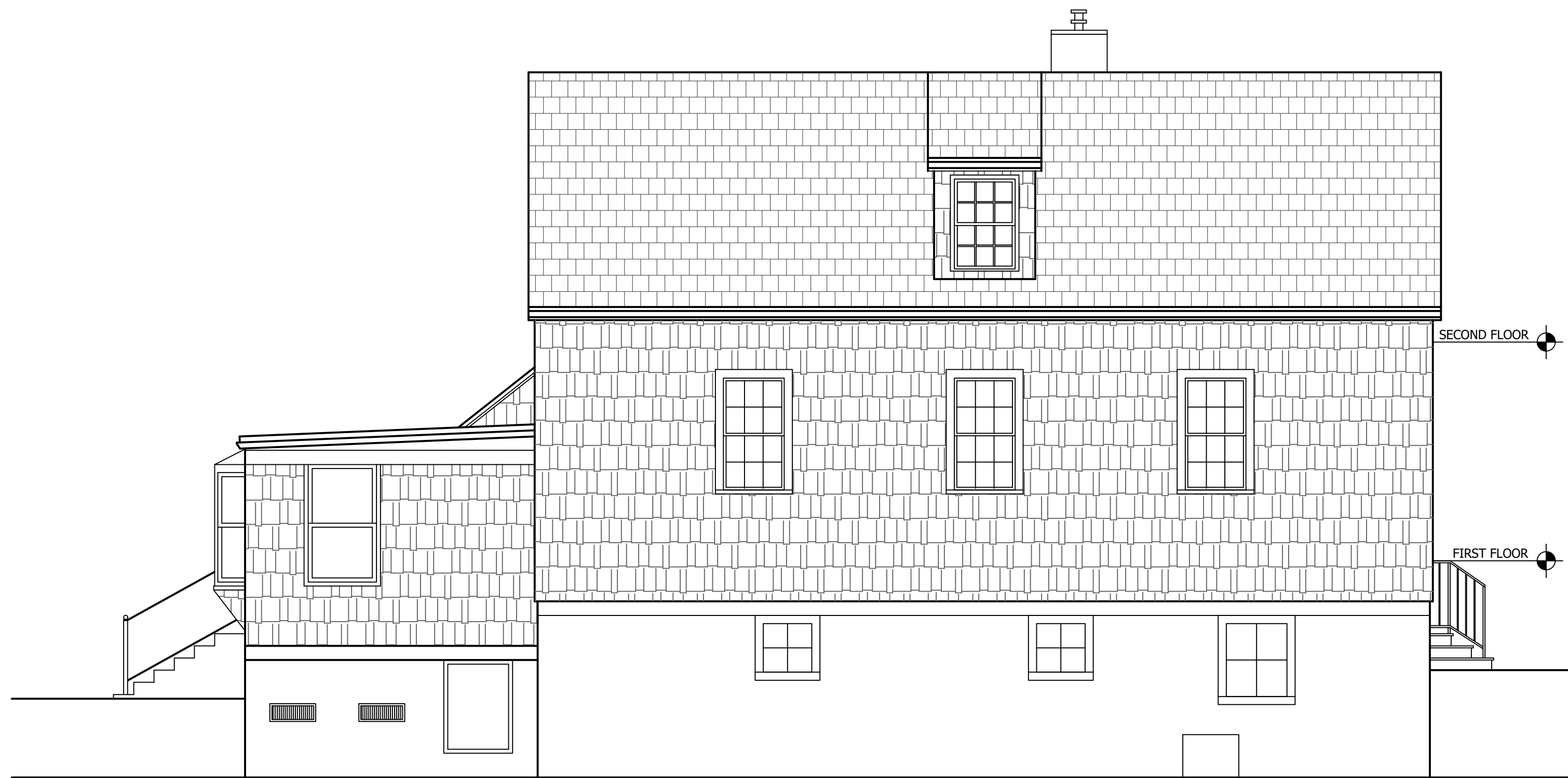
A-8

PHASE:

VILLAGE BOARDS



1 EXISTING REAR ELEVATION
SCALE : 1 / 4" = 1'-0"



3 EXISTING LEFT ELEVATION
SCALE : 1 / 4" = 1'-0"



2 PROPOSED REAR ELEVATION
SCALE : 1 / 4" = 1'-0"



4 PROPOSED LEFT ELEVATION
SCALE : 1 / 4" = 1'-0"



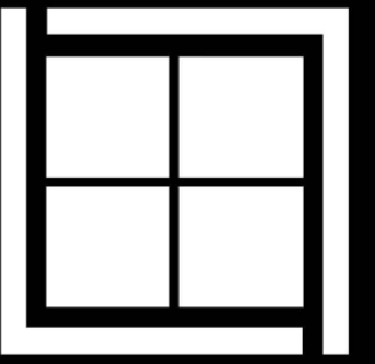
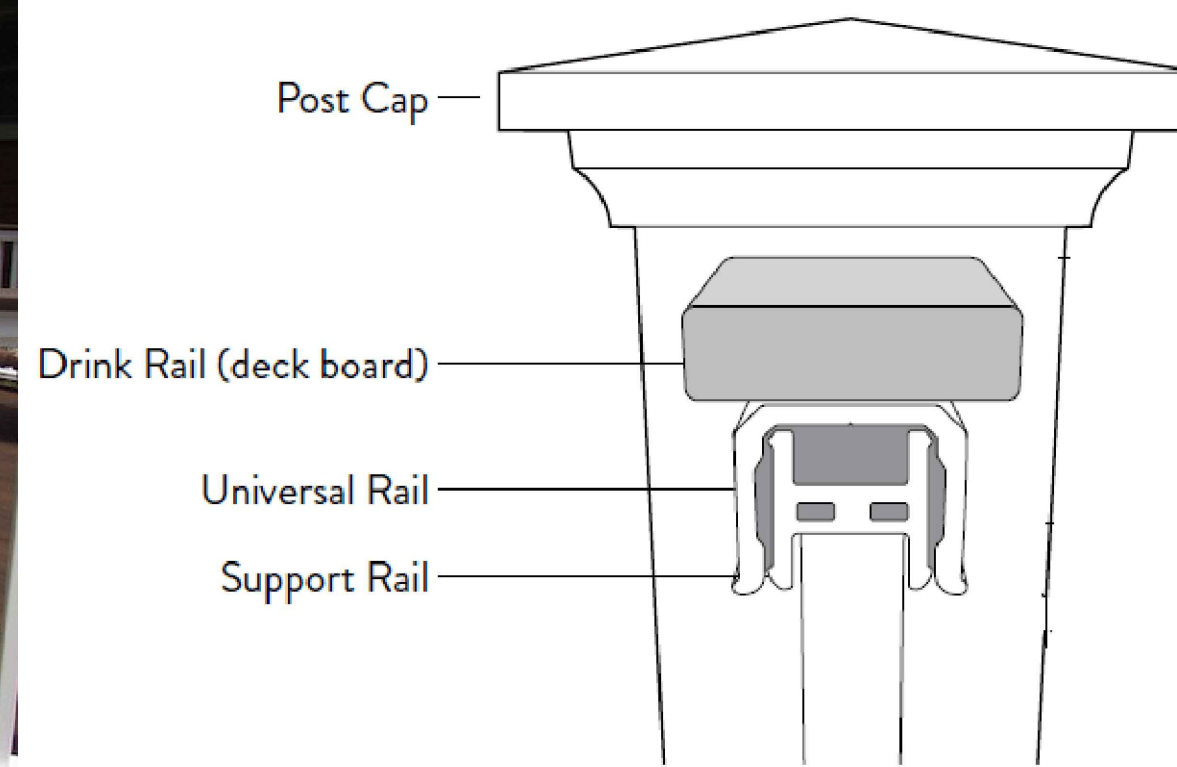
DECK LIGHTS



VINYL LATTICE



DRINK RAIL AND DETAIL



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SHEET DESCRIPTION:

PROJECT
ACCESSORIES

SHEET No.

A-9

PHASE:

VILLAGE BOARDS