

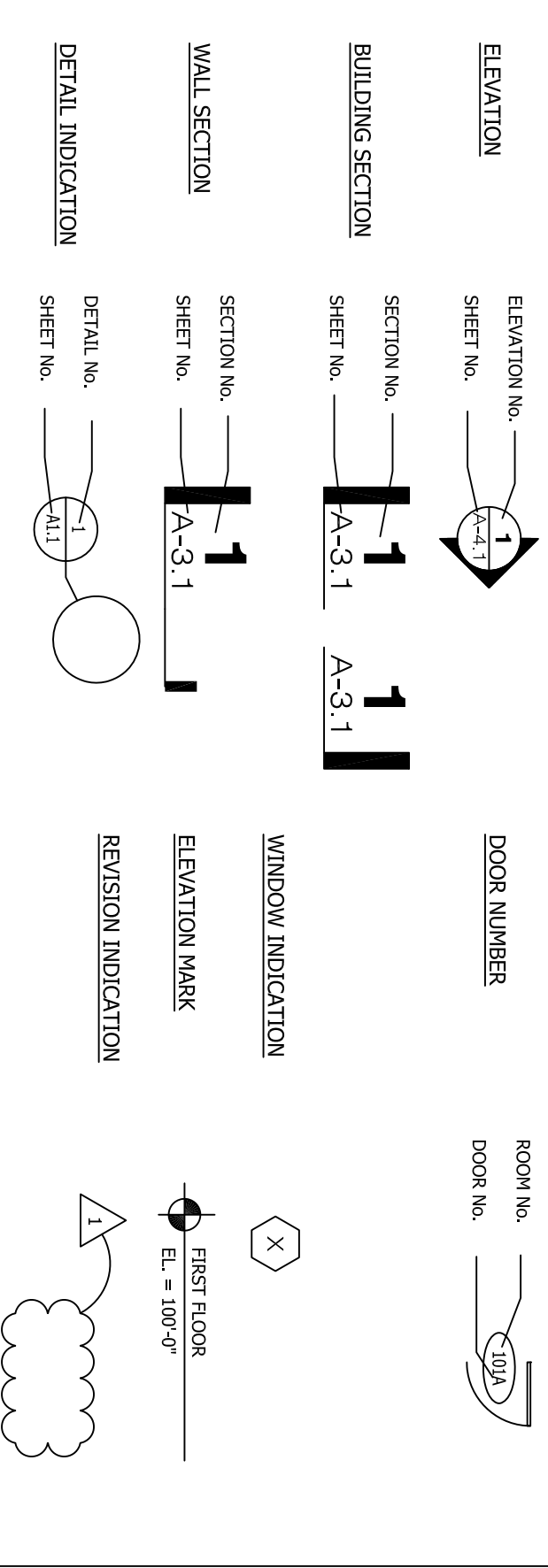
PROJECT LOCATION

NORTH
N.T.S.

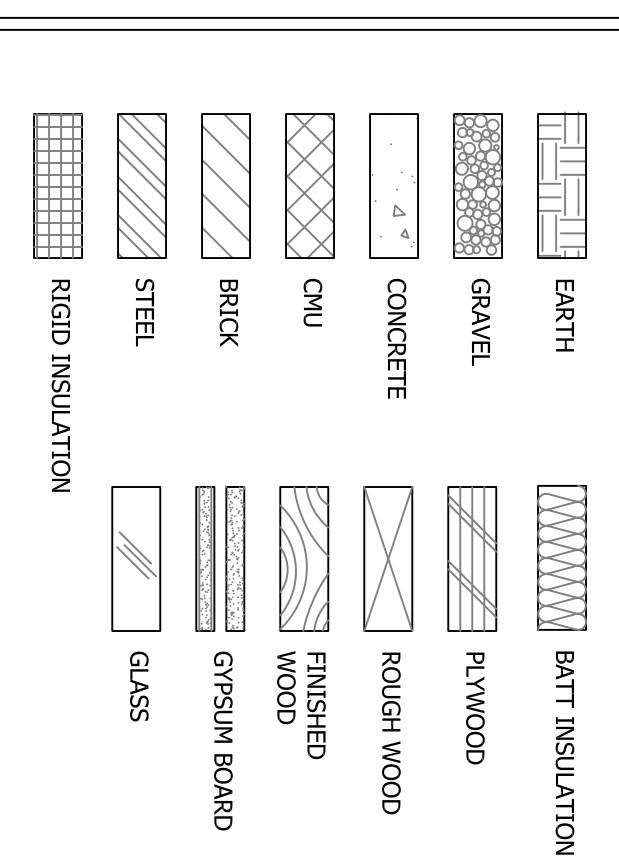
GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- THE ARCHITECT CERTIFIES THESE DRAWINGS TO BE IN COMPLIANCE WITH THE RESIDENTIAL CODE OF NEW YORK STATE 2010 AND THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. SEE BUILDING ENVELOPE THERMAL COMPONENTS CRITERIA FOR ENERGY CONSERVATION INFORMATION.
- ALL CONSTRUCTION IS TO CONFORM WITH ALL APPLICABLE CODES, ORDINANCES, ETC. INCLUDING THE RESIDENTIAL CODE OF NEW YORK STATE 2010 AND THE ENERGY CONSERVATION CODE OF NEW YORK STATE.
- THE WORK TO BE PROVIDED ON THIS PROJECT SHALL INCLUDE ALL NECESSARY COMPONENTS EXCEPT THOSE SPECIFICALLY IDENTIFIED AS NOT TO BE PROVIDED. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR WORKMANSHIP, CODE OR PLANT COMPLIANCE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL MATERIALS DIMENSIONS, DETAILS AND CONDITIONS AND SHALL REPORT ANY ALLEGED DIFFERENCES OR DISCREPANCIES AT ONCE TO THE OWNER AND ARCHITECT.
- IN THE EVENT OF CONFLICT BETWEEN PERMITS CODES AND REGULATIONS AND REFERENCED STANDARDS OR THESE SPECIFICATIONS THE MORE STRINGENT PROVISIONS SHALL GOVERN.
- STRUCTURAL SPECIFICATIONS AND DRAWINGS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH CODE OF NEW YORK STATE.
- CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE NOR SHALL THEY BE IN EXCESS OF DESIGN LOADS INDICATED ON DRAWINGS.
- ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS MEANS, METHODS, TECHNIQUES OR SEQUENCES OF CONSTRUCTION AND THE SAFETY PROCEDURES EMPLOYED BY HIM.
- BUILDING INSPECTOR NOTE THAT THESE PLANS ARE INVALID...
 - IF NOT STAMPED BY A NEW YORK STATE REGISTERED ARCHITECT WHOSE SEAL MUST BE EITHER IMPRESSED OR ORIGINALLY STAMPED
 - IF NOT COULATED WITH ALL PRESCRIBED SHEETS, INCLUDING THESE NOTES.
 - IF ANY CHANGES TO THESE PLANS MAY ONLY BE APPROVED WITH THE CONSENT OF THE ARCHITECT AND OWNER.
- ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL BE HANDED AND MANUFACTURED SPECIFICATIONS ARE CALLED FOR. THESE SPECIFICATIONS SHALL BE HANDED AND MANUFACTURED SPECIFICATIONS, MAY BE USED IF APPROVED IN WRITING BY THE OWNER.
- IN THE ABSENCE OF A SIGN PERMIT THE DRAWINGS SHOWING THE FOOTINGS, FOUNDATION AND SLAB BEING CONSTRUCTED AS PERMITTED BY THE LOCAL BUILDING DEPARTMENT AND ARE NOT BASED ON ANY LOCAL SOIL CONDITIONS AT THE CONSTRUCTION SITE.
- OWNER SHALL PROVIDE AN AS-BUILT SURVEY INDICATING FRONT, SIDE AND REAR YARD DIMENSIONS, ELEVATIONS AT DRIVEWAY, GARAGE AND FINISHED FIRST FLOOR IF REQUIRED BY MUNICIPALITY.
- EXCEPT AT PRE-EXISTING STAIRS, STAIR TREAD MINIMUM WIDTH SHALL BE 9", RUGS 1'-1/4" NOMINAL FOR A CLOSED STAIRWAY. MAXIMUM RISER HEIGHT SHALL BE 8-1/4" TOLERANCE ON TREAD AND RISER SHALL NOT EXCEED 1/8". MINIMUM HEADROOM OVER ANY PORTION OF THE FIXED STAIRWAY SHALL NOT BE LESS THAN 6'-8".
- ALL STAIRS SHALL HAVE CONTINUOUS RAILINGS 2'-10" TO 3'-2" ABOVE NOSING.
- ALL EXTERIOR WALLS AND THOSE ADJACENT TO UNHEATED SPACE TO BE 2X6 STUDS @ 16" O.C.

SYMBOLS



MATERIAL



STRUCTURAL GENERAL NOTES

- PROVIDE (2)2X10 HEADERS AT ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED.
- FRAMING PLANS FOR ILLUSTRATIVE PURPOSES ONLY. NOT ALL MEMBERS SHOWN.
- PROVIDE 3" MINIMUM BEARING AT ALL BEAMS.
- PROVIDE 1 1/2" MINIMUM BEARING AT ALL HEADERS.
- ALL EXTERIOR WALLS TO BE 2X6 STUDS AT 16" O.C. (2X4 AT INTERIOR WALLS U.N.O.)
- NOTCH COLUMNS AT EXTERIOR BEAMS (OR PROVIDE SIMPSON CONNECTORS).
- MAINTAIN 6"-8" MINIMUM HEAD CLEARANCE AT ALL STAIRS.
- FIRE CAULK AT ALL FLOOR PENETRATIONS.
- ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR #2 (OR BETTER).
- PROVIDE SIMPSON CONNECTORS AS REQUIRED AT BEAMS/COLUMNS.

- CONTRACTOR TO APPLY FOR AND OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS. OWNER TO PAY BUILDING PERMIT FEES.
- PAIN THE ENTIRE INTERIOR OF THE BASEMENT, FIRST AND SECOND FLOOR. CEILING TO BE FLAT PAINT, WALLS TO BE EGGSHELL. TRIM TO BE SEMI-GLOSS.

- ALL INTERIOR WALLS SHALL BE 2X4 STUDS @ 16" O.C. EXCEPT WHERE NOTED.

- ALL PORCHES, BALCONIES OR RAISED FLOOR AREAS GREATER THAN 30" ABOVE FLOOR SHALL HAVE GUARD RAILS NOT LESS THAN 36" HIGH. GUARDS SHALL NOT ALLOW A SPHERE GREATER THAN 4" PASS THRU INTERMEDIATE RAILS.

- HEATING DUCT DIAGRAMS OR DRAWINGS SHALL BE PROVIDED BY THE HEATING CONTRACTOR.

- ALL EXHAUST FANS, RANGE HOODS, AND DRYERS SHALL BE PROVIDED BY THE HEATING CONTRACTOR. 22. OUTLINE ROOM/FRAMING AREA SHALL BE VENTED TO EXTERIOR TO PROVIDE SUFFICIENT VENTILATION AS PRESCRIBED BY THE VENTING UNIT MANUFACTURER.

- ATTIC SHALL BE VENTED.

- SMOKE DETECTORS SHALL BE INSTALLED PRIOR TO WIRING ELECTRICAL SWITCHES.

- ALL ELECTRICAL WORK SHALL BE SUPPLIED BY A COMPONENT LICENSED ELECTRICAL CONTRACTOR AND SHALL CONFORM TO THE 1999 ELECTRICAL CODE.

- ALL PLUMBING WORK SHALL CONFORM TO THE RESIDENTIAL CODE OF NYS AND ALL LOCAL LAWS. ALL PLUMBING WORK SHALL BE PROVIDED BY A LICENSED PLUMBING CONTRACTOR.

- NEW FIREPLACES (IF ANY) SHALL BE PROVIDED WITH TEMPERED GLASS DOORS.

- 110V SMOKE DETECTORS WITH BATTERY BACKUP (INTERCONNECTED TO ALL OTHER SMOKE DETECTORS) SHALL BE INSTALLED IN EACH BEDROOM AND IMMEDIATELY OUTSIDE OF THE SLEEPING AREA. HARD WIRE A CARBON MONOXIDE DETECTOR SHALL ALSO BE INSTALLED OUTSIDE OF SLEEPING AREA.

- ALL PIPE PENETRATIONS OF FLOOR AND PRE-CAST WALL ASSEMBLIES SHALL HAVE FIRE STOP SEALANT BOTH SIDES TYPICAL OF 3M OR 2M/S CALK OR ACCEPTABLE EQUAL PER MANUFACTURER'S RECOMMENDATIONS.

- THE ARCHITECT CERTIFIES THESE DRAWINGS ARE IN COMPLIANCE WITH THE RESIDENTIAL CODE OF NYS FOR THE YEAR 2010 AND THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE 2010 AND THE ENERGY CONSERVATION CODE OF NEW YORK STATE 2010.

- ALL INSULATION MATERIALS SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R316 OF THE RESIDENTIAL CODE OF NYS 2010. VAPOR BARRIERS SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF INSULATION. ALL INSULATED VAPOR BARRIERS SHALL BE TERMINATED, EITHER WITH VAPOR BARRIERS SHALL BE COVERED WITH CODE COMPLIANT COVERING.

- CONTRACTOR TO APPLY FOR AND OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS. OWNER TO PAY BUILDING PERMIT FEES.

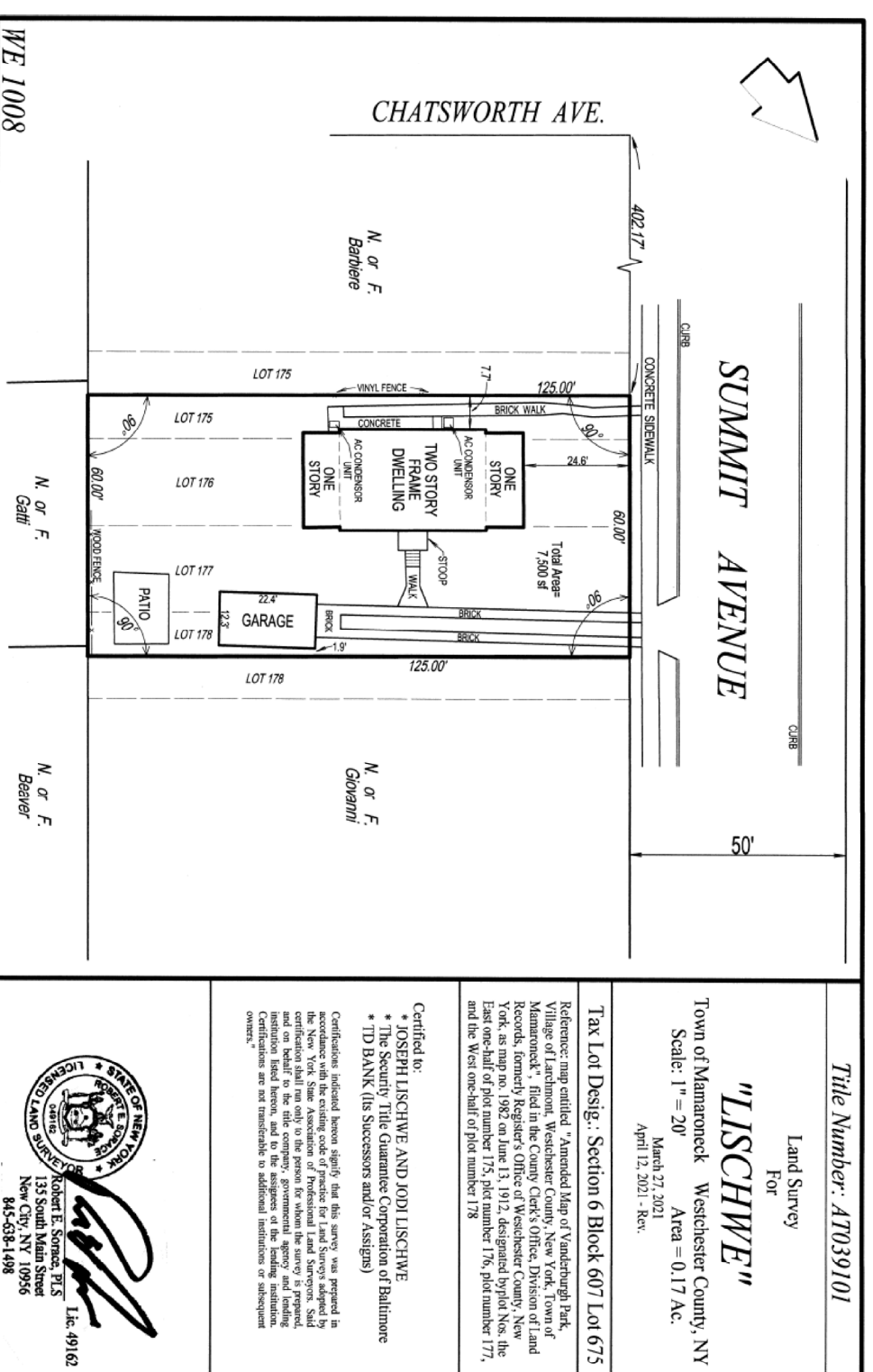
- PAIN THE ENTIRE INTERIOR OF THE BASEMENT, FIRST AND SECOND FLOOR. CEILING TO BE FLAT PAINT, WALLS TO BE EGGSHELL. TRIM TO BE SEMI-GLOSS.

- THE ARCHITECT CERTIFIES THESE DRAWINGS ARE IN COMPLIANCE WITH THE RESIDENTIAL CODE OF NYS FOR SECTION R323.1 AND FOR PROTECTION AGAINST DECAY (R319).

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LISCHEW RESIDENCE

INTERIOR KITCHEN RENOVATION

11 SUMMIT AVE LARCHMONT, NEW YORK 10538

DRAWING INDEX

- T-1 TITLE SHEET
A-1-0 EXISTING AND PROPOSED SITE PLANS
A-2-0 FIRST FLOOR EXISTING AND DEMOLITION PLANS
A-3-0 FIRST FLOOR PROPOSED PLAN, RCP AND ELECTRICAL PLANS
A-4-0 EXISTING AND PROPOSED EXTERIOR ELEVATIONS
A-4-1 EXISTING AND PROPOSED EXTERIOR ELEVATIONS
A-5-0 PROPOSED INTERIOR ELEVATIONS

ALTERNATES

NONE

SCOPE OF WORK

A SUMMARY OF THE SCOPE OF WORK IS AS FOLLOWS:

- INTERIOR KITCHEN RENOVATION
- 3 NEW WINDOWS
- 1 NEW FRENCH DOOR

BY OWNER

- THE FOLLOWING ITEMS ARE TO BE OWNER PROVIDED CONTRACTOR INSTALLED.
- TILE
 - COUNTERTOPS
 - CABINETS
 - PLUMBING FIXTURES
 - APPLIANCES
 - TOILET ACCESSORIES
 - DECORATIVE LIGHTING FIXTURES
 - LANDSCAPING

THERMAL CRITERIA

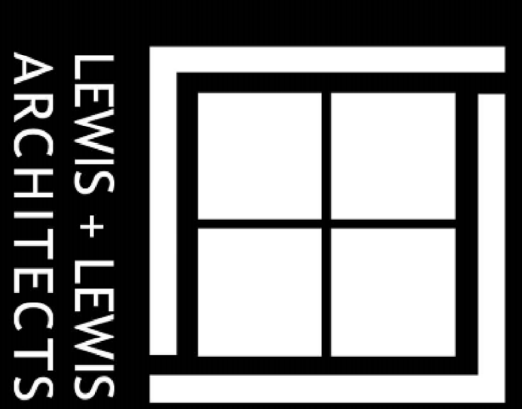
- NEW YORK STATE ENERGY CODE, 2010
CLIMATE ZONE 4
MINIMUM R-VALUE OF WALLS - R-19
MINIMUM R-VALUE OF CEILINGS - R-38
MINIMUM U-VALUE OF FENESTRATIONS - U-30

CLIMATIC AND GEOGRAPHICAL CRITERIA

- NEW YORK STATE RESIDENTIAL BUILDING CODE, 2020
GROUND SNOW LOAD : 30 PSF
WIND SPEED : 120 MPH
SEISMIC DESIGN CATEGORY : C
FROST DEPTH : 42"
WEATHERING : SEVERE
TERMITTE : MODERATE TO HEAVY
FLOOD HAZARD : NOT APPLICABLE
PSF = POUNDS PER SQUARE FOOT

STRUCTURAL CRITERIA

- NEW YORK STATE RESIDENTIAL BUILDING CODE, 2020
LIVE LOAD:
LIVING AREAS AND DECK : 40 PSF
BEDROOMS: 30 PSF
DEAD LOAD : 10 PSF
GROUND SNOW LOAD: 30 PSF
ALL STRUCTURAL LUMBER SHALL BE:
DOUGLAS FIR #2, $f_b = 900$, $E = 1,400,000$ (OR BETTER)
PSF = POUNDS PER SQUARE FOOT



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ISSUED / REVISIONS	DATE
DESCRIPTION	03/17/22
ARB SUBMISSION	3/30/22
ARB MEETING	

LISCHEW

INTERIOR KITCHEN
RENOVATION
WITH 3 NEW WINDOWS
AND 1 NEW DOOR

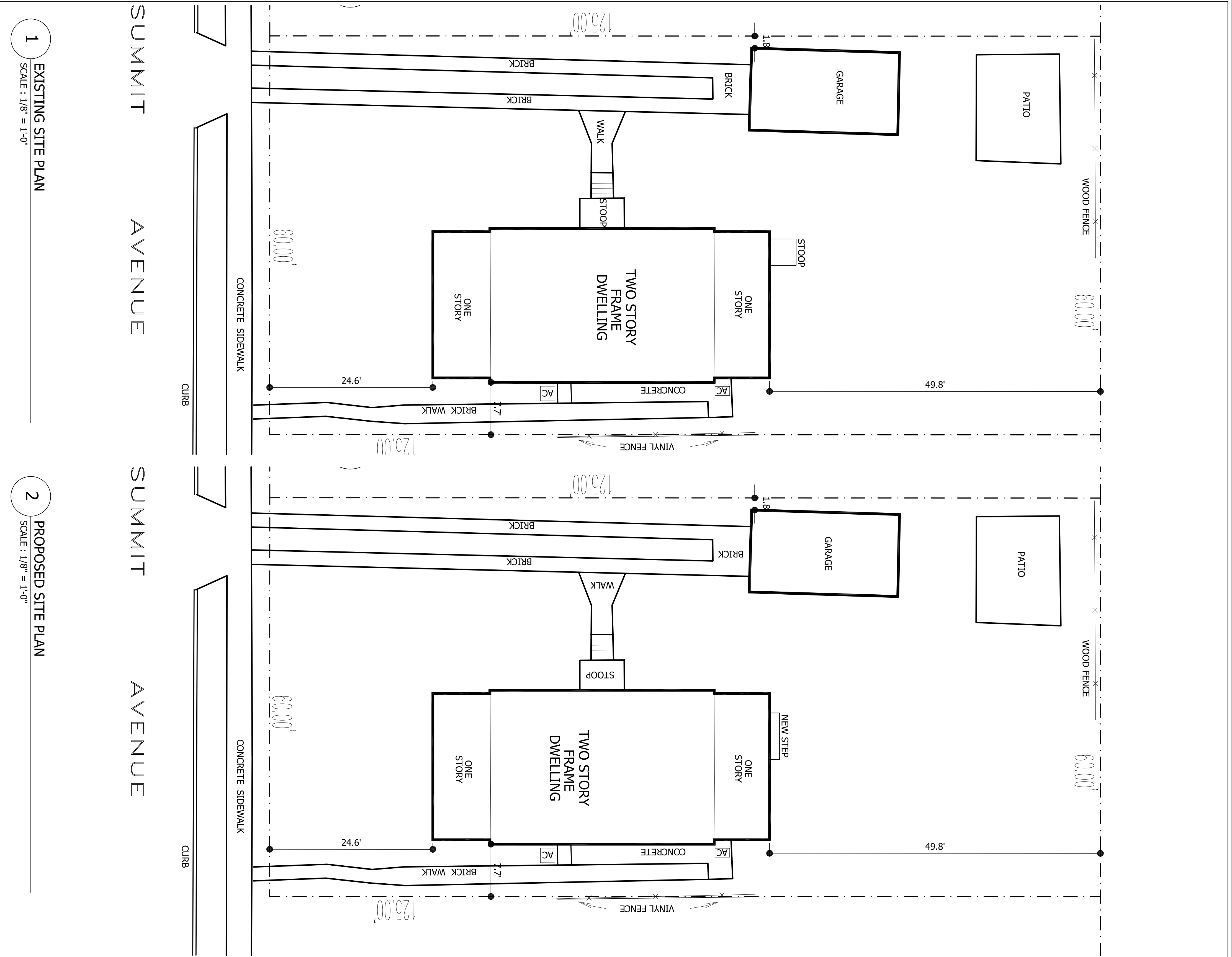
11 Summit Ave
Larchmont
New York 10538

NOTES

TITLE SHEET

T-1

VILLAGE SUBMITTALS



1 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"

2 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



FRONT PHOTO



REAR PHOTO



RIGHT SIDE PHOTO



LEFT SIDE PHOTO

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LISCHWE

INTERIOR KITCHEN
RENOVATION
WITH 3 NEW WINDOWS
AND 1 NEW DOOR

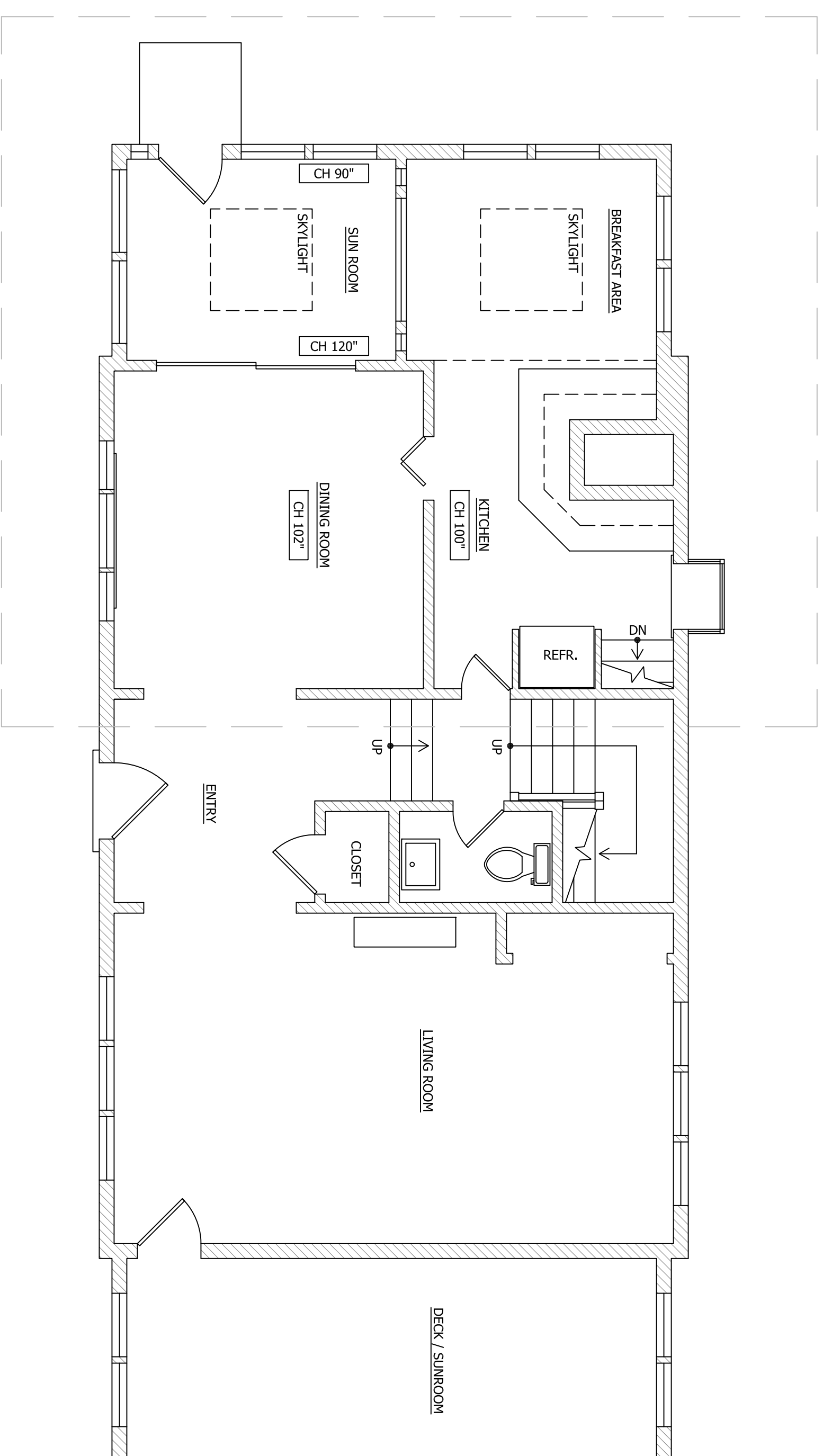
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New York 10538

NOTES

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**EXISTING AND PROPOSED
SITE PLANS**

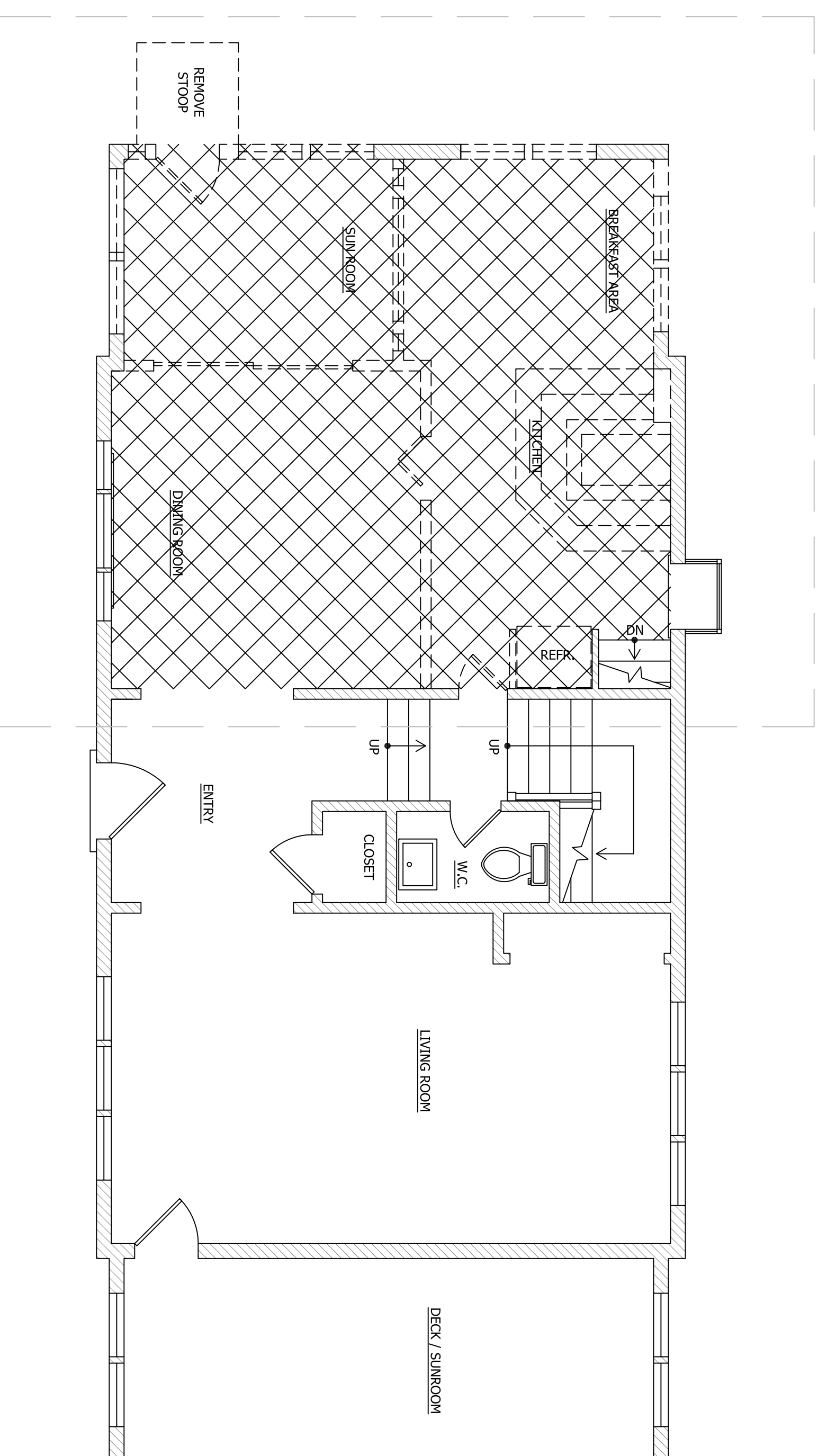
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PHASE:
VILLAGE SUBMITTALS

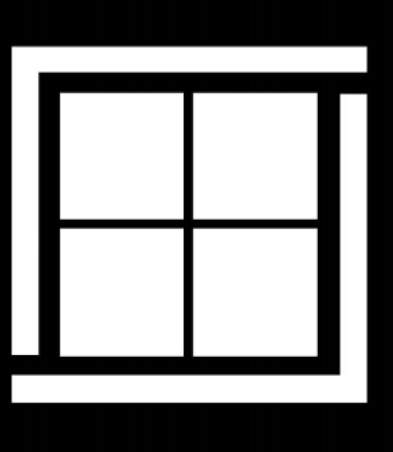


1 EXISTING FIRST FLOOR PLAN
SCALE : 1/4" = 1'-0"

DEMOLITION NOTES – TYPICAL	DEMOLITION LEGEND
<ol style="list-style-type: none"> 1. REMOVE EXISTING CONSTRUCTION AS REQUIRED TO BUILD PROPOSED LAYOUT. 2. RELOCATE EXISTING MECHANICAL/ELECTRICAL/PLUMBING AS REQUIRED FOR NEW LAYOUT. 3. PROVIDE DOUBLE VISQUEEN DUST BARRIER AT ALL DEMOLITION. 4. GENERAL CONTRACTOR RESPONSIBLE FOR ADHERENCE TO ALL LEAD, ASBESTOS, ETC. ABATEMENT PROCEDURES PER EPA STANDARDS. 5. PROTECT EXISTING HOUSE FROM DAMAGE DURING DEMOLITION. 6. REMOVE AND PROPERLY DISPOSE OF ALL DEMOLITION DEBRIS FROM THE CONSTRUCTION SITE. 	<p> EXISTING PARTITION TO REMAIN EXISTING CONSTRUCTION TO BE REMOVED EXISTING DOOR TO BE REMOVED. INDICATES THE COMPLETE REMOVAL OF ALL ITEMS WITHIN THIS SPACE INCLUDING FLOORING DOWN TO EXISTING STRUCTURE. (GUT DEMOLITION) </p>



2 FIRST FLOOR DEMOLITION PLAN
SCALE : 1/4" = 1'-0"



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LISCHE
INTERIOR KITCHEN RENOVATION WITH 3 NEW WINDOWS AND 1 NEW DOOR
11 Summit Ave
Larchmont
New York 10538

NOTES

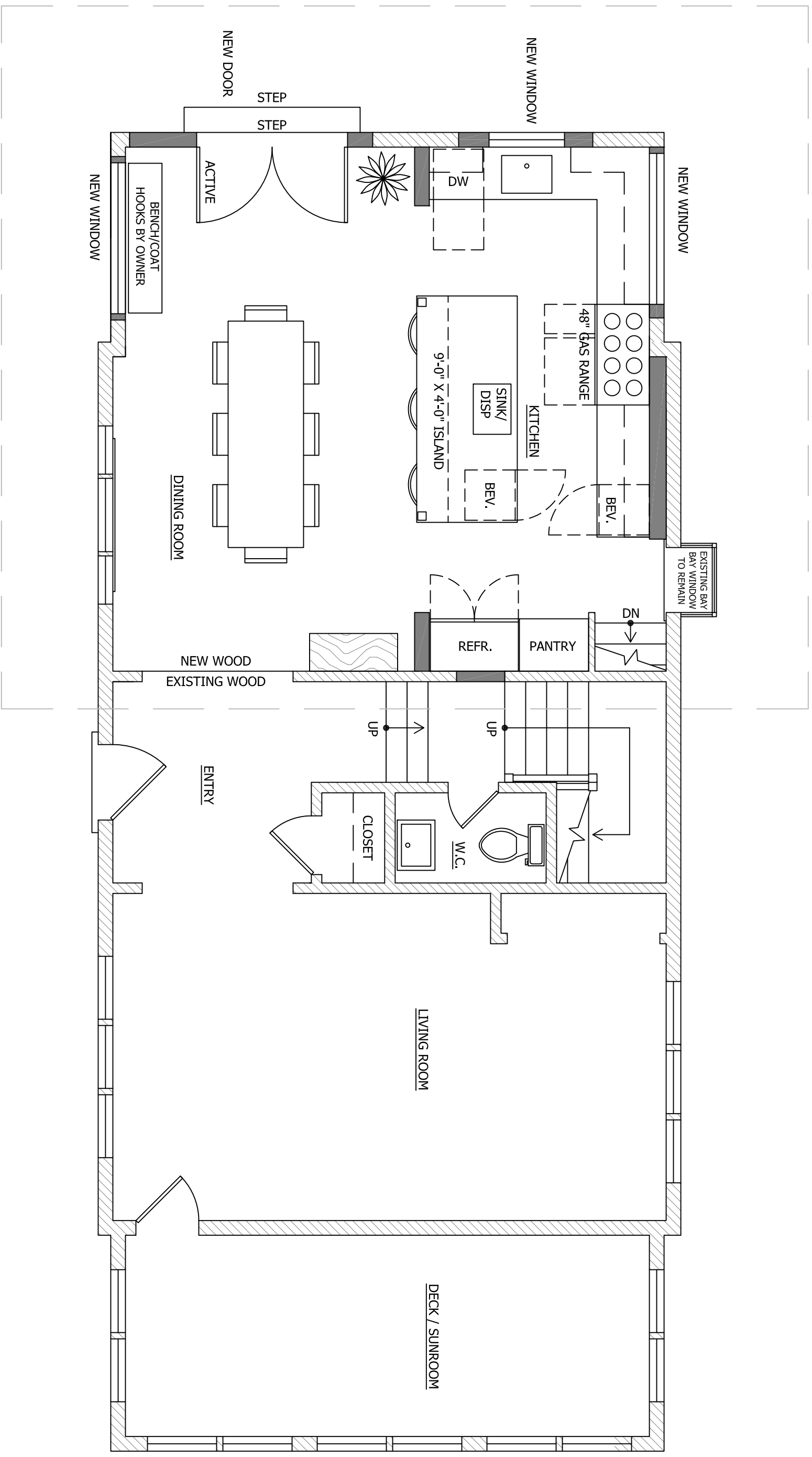
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FIRST FLOOR EXISTING AND DEMOLITION PLANS

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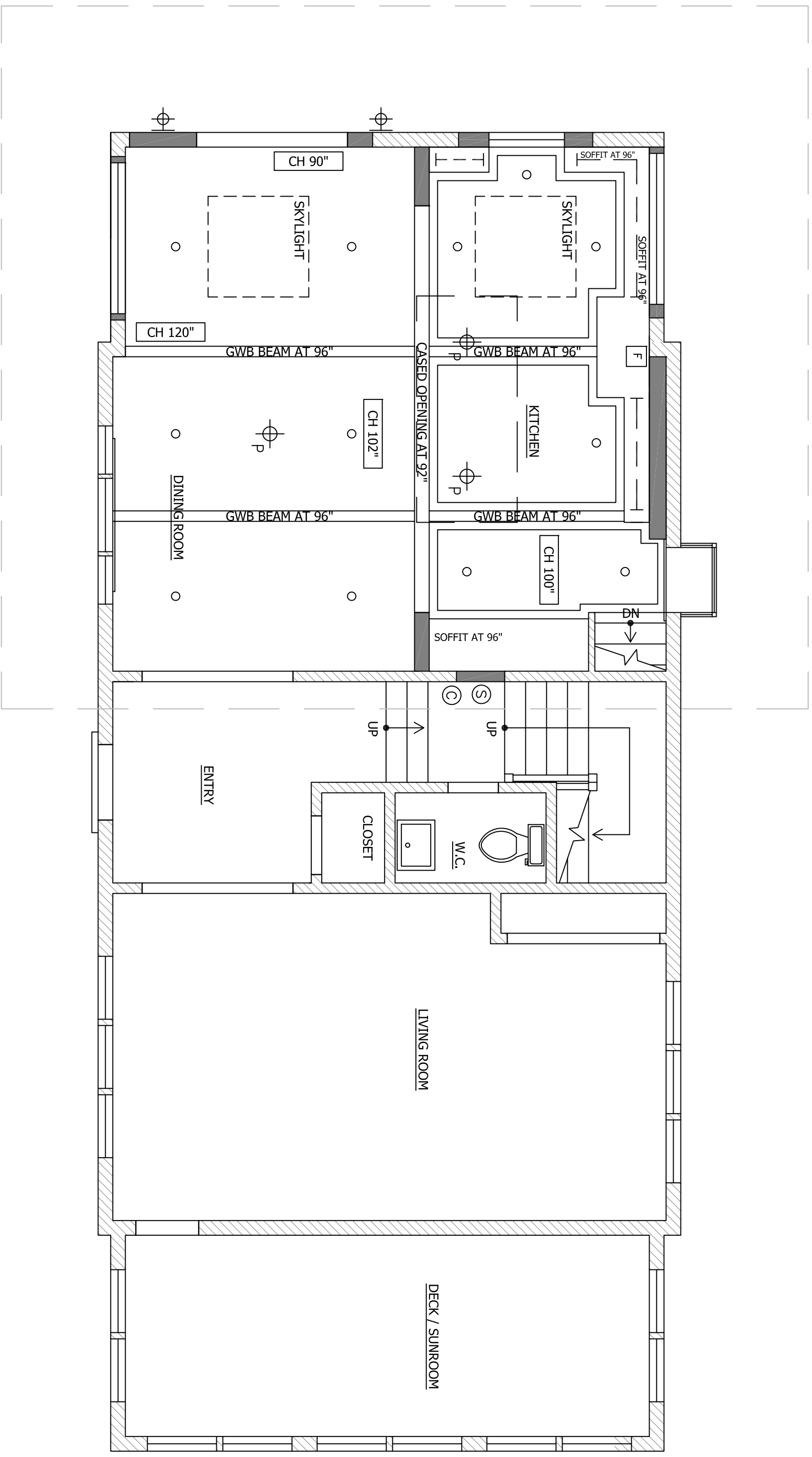
PHASE:
VILLAGE SUBMITTALS

GENERAL NOTES	FLOOR PLAN SYMBOL LEGEND
<ol style="list-style-type: none"> PROVIDE (2)X10 HEADERS AT ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED. FRAMING PLANS FOR ILLUSTRATIVE PURPOSES ONLY. NOT ALL MEMBERS SHOWN. PROVIDE 3" MINIMUM BEARING AT ALL BEAMS. PROVIDE 1 1/2" MINIMUM BEARING AT ALL HEADERS. ALL EXTERIOR WALLS TO BE 2X8 STUDS AT 16" O.C. (2X4 AT INTERIOR WALLS U.N.O.) NOTCH COLUMNS AT EXTERIOR BEAMS (OR PROVIDE SIMPSON CONNECTORS). MAINTAIN 6"-8" MINIMUM HEAD CLEARANCE AT ALL STAIRS FIRE CALK AT ALL FLOOR PENETRATIONS ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR #2 (OR BETTER). PROVIDE SIMPSON CONNECTORS AS REQUIRED AT BEAMS/COLUMNS SISTER 2X6'S TO EXISTING CEILING JOISTS AS REQUIRED TO LEVEL CEILINGS PROVIDE 3.5" SOUND ATTENUATION BATT INSULATION AROUND ALL BATHROOMS AND LAUNDRY ROOMS 	<p>(X) DOOR SYMBOL—SEE DOOR SCHEDULE</p> <p>(X) WINDOW SYMBOL—SEE WINDOW SCHEDULE</p> <p>EXISTING CONSTRUCTION</p> <p>NEW WOOD FRAMED WALLS</p> <p>2X4 @ 16" O.C. @ INTERIOR WALLS</p> <p>2X6 @ 16" O.C. @ EXTERIOR WALLS (R-20) (UNLESS NOTED OTHERWISE)</p> <p>NEW 3 5/8" METAL STUDS WITH CLOSED CELL SPRAY FOAM INSULATION (R-20) - BASEMENT ONLY</p> <p>8" CMU RETAINING WALL</p> <p>EXF FLOOR DEFUSER (FLUSH WOOD DEFUSER TO MATCH FLOOR FINISH)</p> <p>COL COLUMN (FLUSH WOOD FROM ABOVE)</p> <p>FLOOR DRAIN</p>

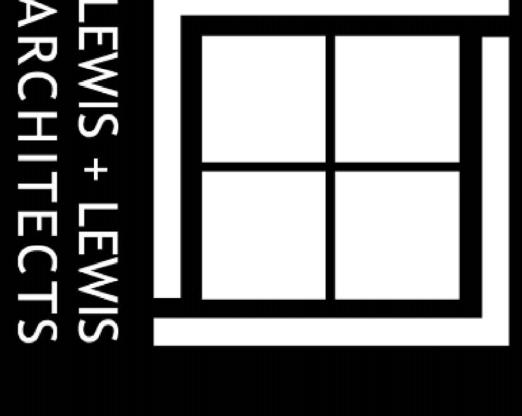
ELECTRICAL LEGEND	GENERAL LIGHTING / ELECTRICAL NOTES
<p>CEILING MOUNTED PERMANENT FIXTURE *</p> <p>VERBIF LOCATION WITH OWNER</p> <p>CEILING MOUNTED PAN OR FAULLIGHT *</p> <p>VERBIF LOCATION WITH OWNER</p> <p>CEILING MOUNTED LIGHT *</p> <p>4" RECESSED LED DOWNLIGHT</p> <p>4" LED DOWNLIGHT WITH SLOPED CONE</p> <p>WALL SCONCE *</p> <p>CNTS/ COAX CABLE JACK</p> <p>NEW 200 AMP ELECTRICAL PANEL</p> <p>PHONE JACK</p> <p>2" LED CABINET LIGHT</p> <p>4" GARAGE DOOR OPERATOR</p> <p>DOORBELL</p> <p>THERMOSTAT FOR ELECTRIC HEATED FLOOR</p> <p>MOTION ACTIVATED FIXTURE</p> <p>PTD 2 1/2" BEAD BOARD</p>	<p>1. CENTER LIGHTS AND FAULLIGHT JACKS IN ROOMS.</p> <p>2. CENTER OUTLETS ON WALLS OR UNDER WINDOWS.</p> <p>3. PROVIDE INDEPENDENT CIRCUITS (OR SUB-PANEL) AS REQUIRED BY CODE.</p> <p>4. SPACE DOWNLIGHTS EQUALLY ALONG LINE OF DOWNLIGHTS.</p> <p>5. HARD WIRE BATTERY BACKUP AND INTERCONNECTED SMOKE + CARBON MONOXIDE DETECTORS.</p> <p>6. PROVIDE SMOKE AND CARBON MONOXIDE DETECTORS ON EACH FLOOR.</p> <p>7. PROVIDE SMOKE DETECTORS IN ALL BEDROOMS.</p> <p>8. PROVIDE NEW GFCI OUTLETS AT ALL WET LOCATIONS.</p> <p>9. OWNER TO PROVIDE ALL SURFACE AND PERMANENT MOUNTED FIXTURES (SEE - ABOVE) AND TO BE INSTALLED BY THE CONTRACTOR.</p> <p>10. PROVIDE SAMPLE OF DIMMER AND DOWNLIGHT TO OWNER PRIOR TO INSTALLATION.</p> <p>11. SEE FLOOR PLANS FOR KITCHEN APPLIANCE LOCATIONS.</p> <p>12. PROVIDE WEATHERPROOF GFI OUTLETS AT ALL EXTERIOR LOCATIONS.</p> <p>13. ALL OUTLETS, SWITCHES, ETC TO BE DECOBA STYLE.</p> <p>14. FIRE CALK ALL FLOOR PENETRATIONS.</p> <p>15. PROVIDE 12 DIMMERS PER OWNER'S DISCRETION.</p> <p>16. ALL FIXTURES INDICATED WITH * ARE OWNER PROVIDED/CONTRACTOR INSTALLED.</p>



1 PROPOSED FIRST FLOOR PLAN
SCALE : 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR RCP AND LIGHTING PLAN
SCALE : 1/4" = 1'-0"



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INTERIOR KITCHEN
RENOVATION
WITH 3 NEW WINDOWS
AND 1 NEW DOOR

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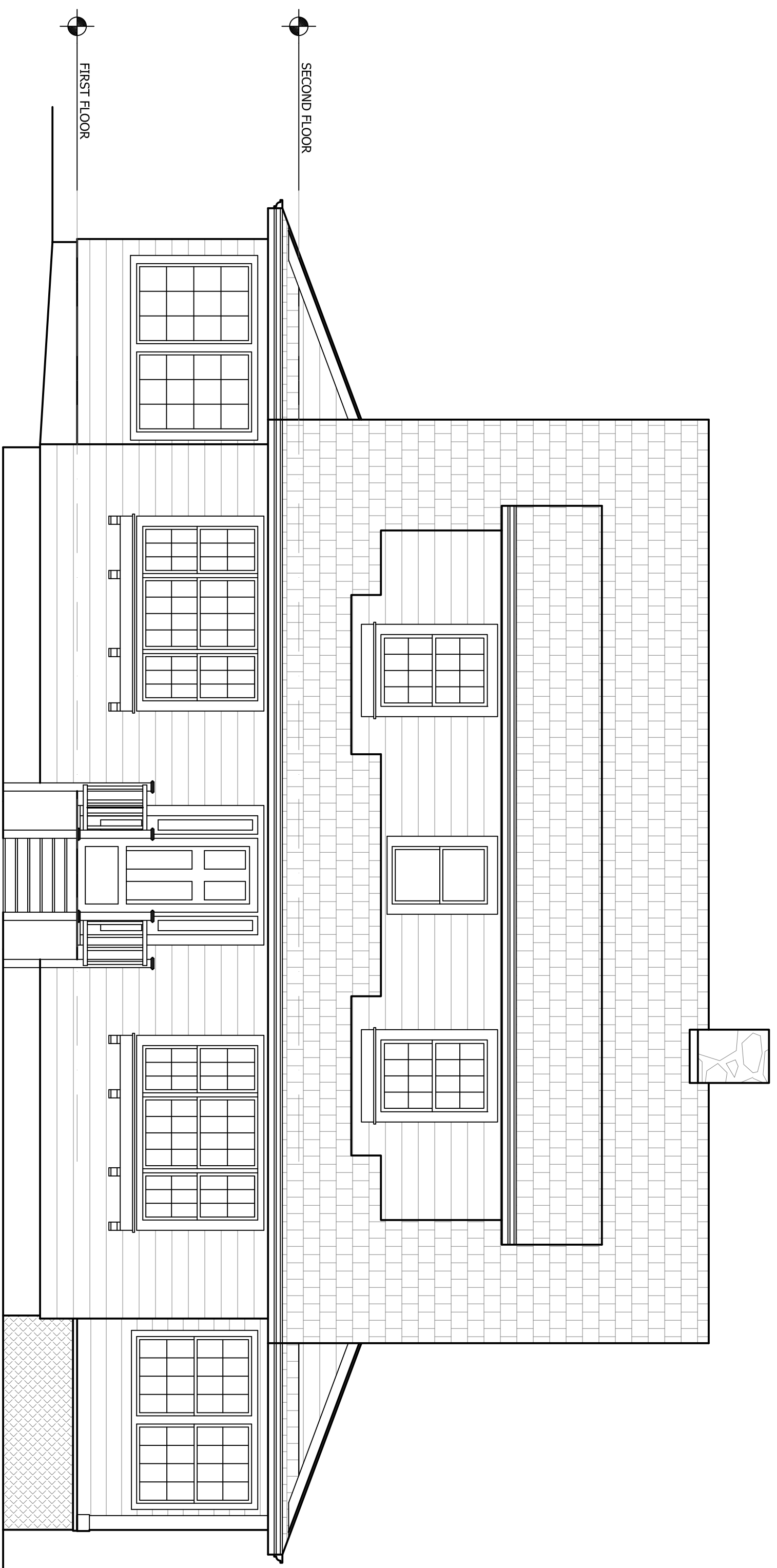
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FIRST FLOOR PROPOSED
PLAN, RCP AND ELECTRICAL
PLANS

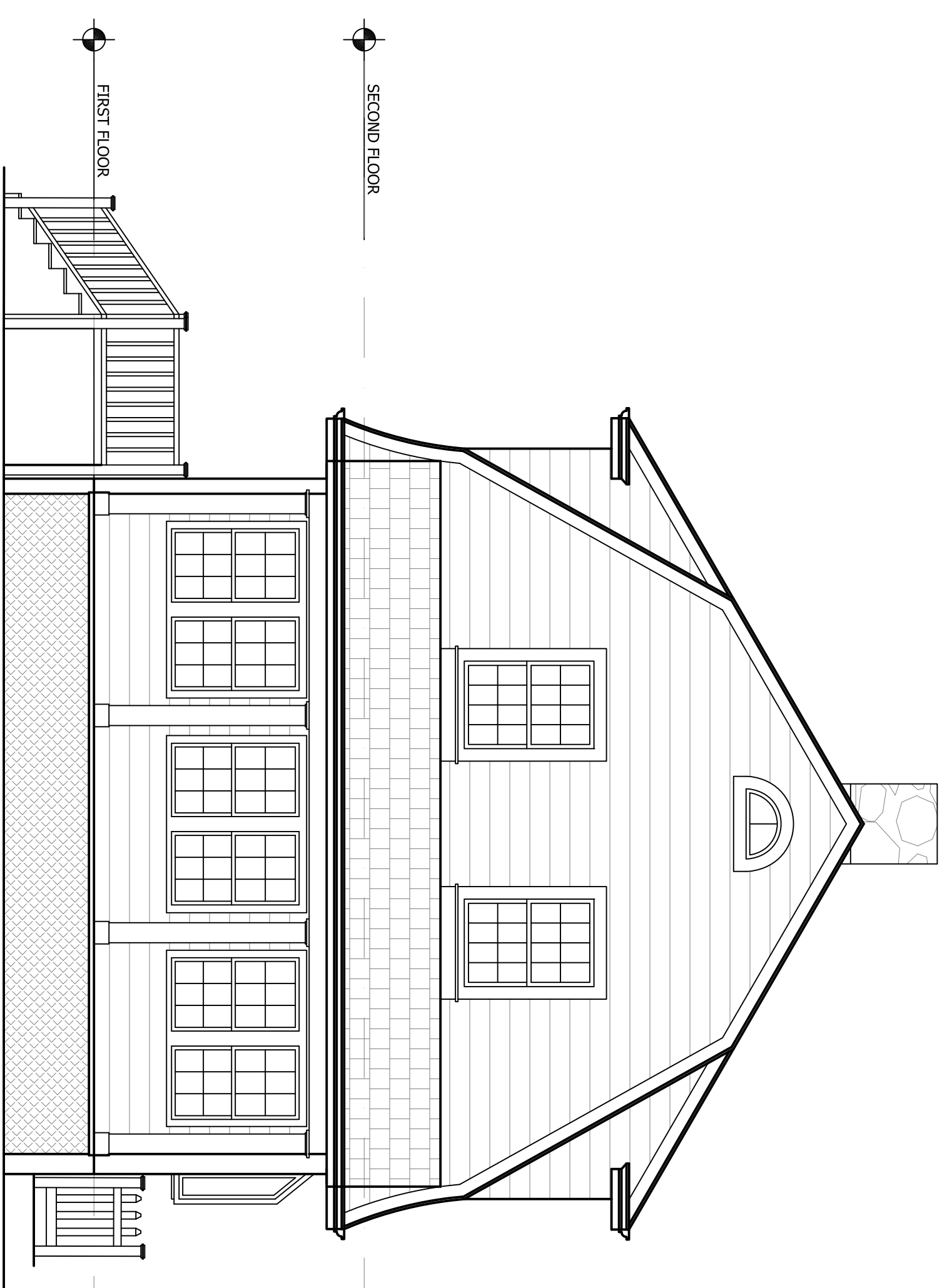
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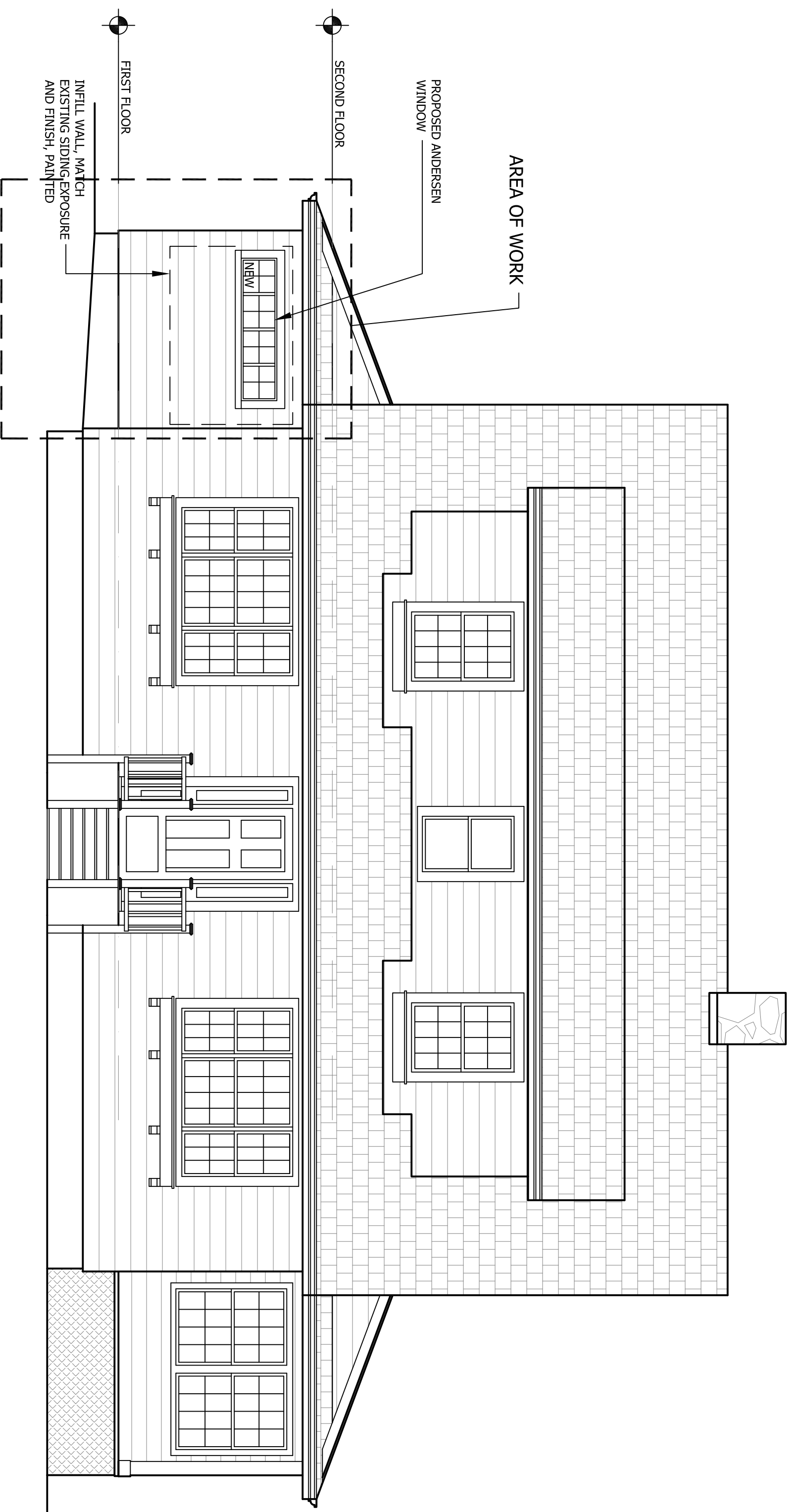
PHASE:
VILLAGE SUBMITTALS



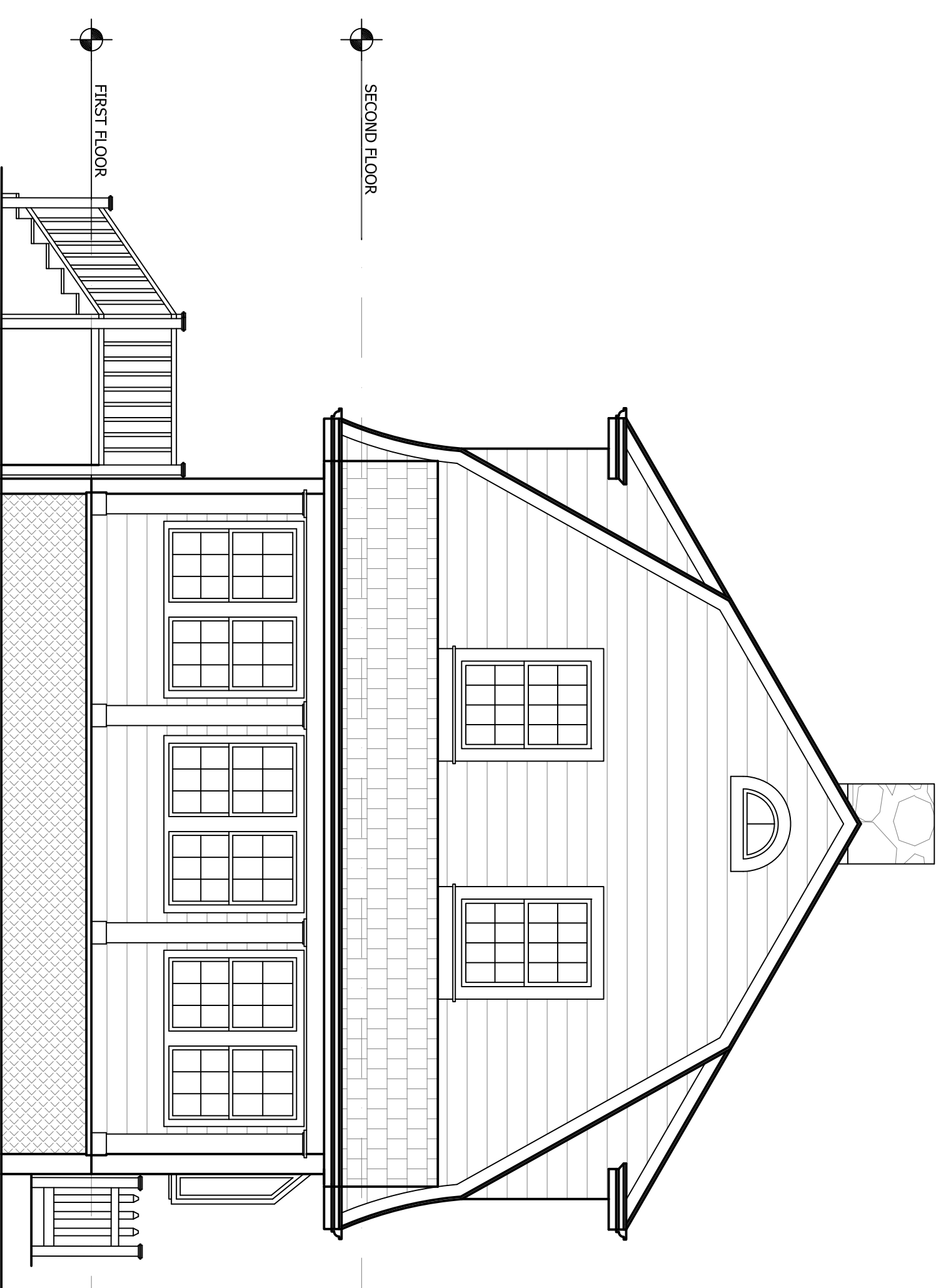
1 EXISTING FRONT ELEVATION
SCALE : 1/4" = 1'-0"



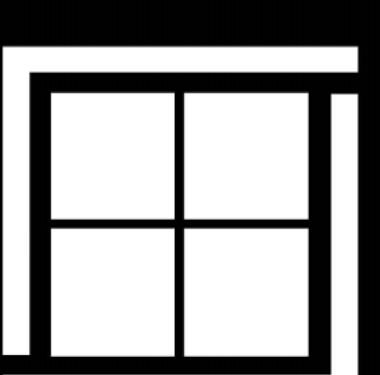
3 EXISTING FRONT ELEVATION
SCALE : 1/4" = 1'-0"



2 PROPOSED FRONT ELEVATION - NO CHANGE
SCALE : 1/4" = 1'-0"



4 PROPOSED RIGHT ELEVATION - NO CHANGE
SCALE : 1/4" = 1'-0"



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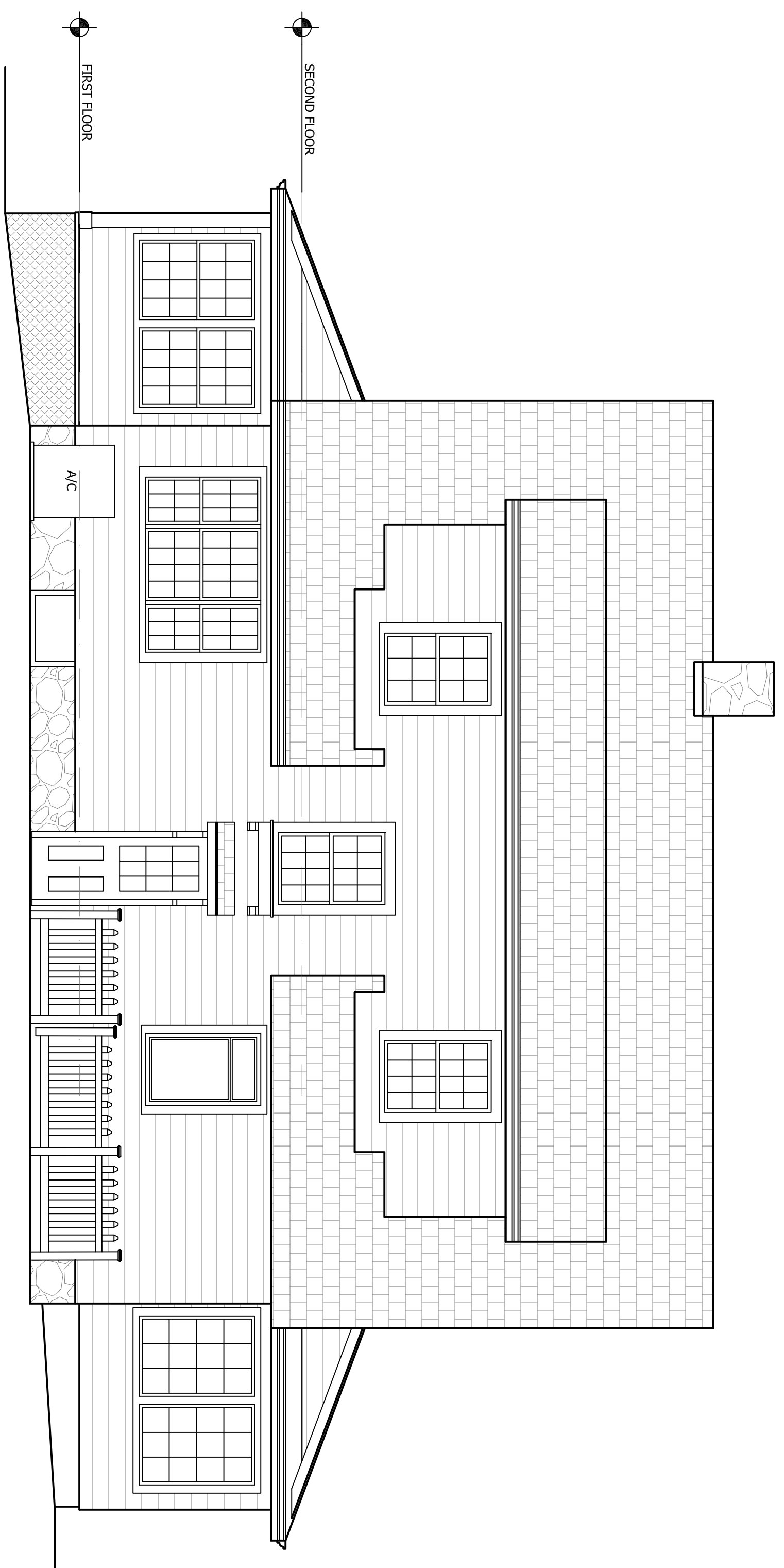
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EXISTING AND
PROPOSED EXTERIOR
ELEVATIONS

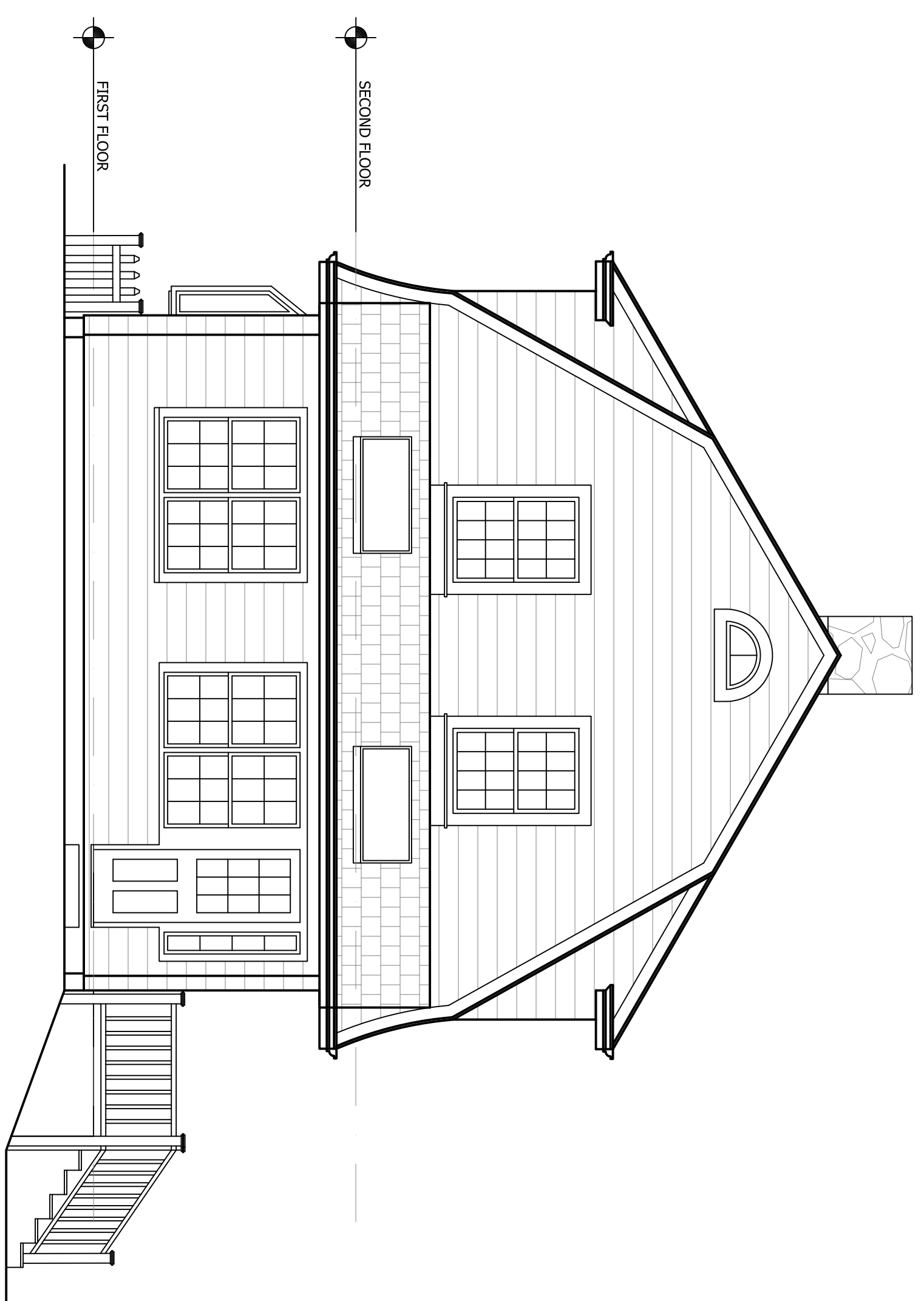
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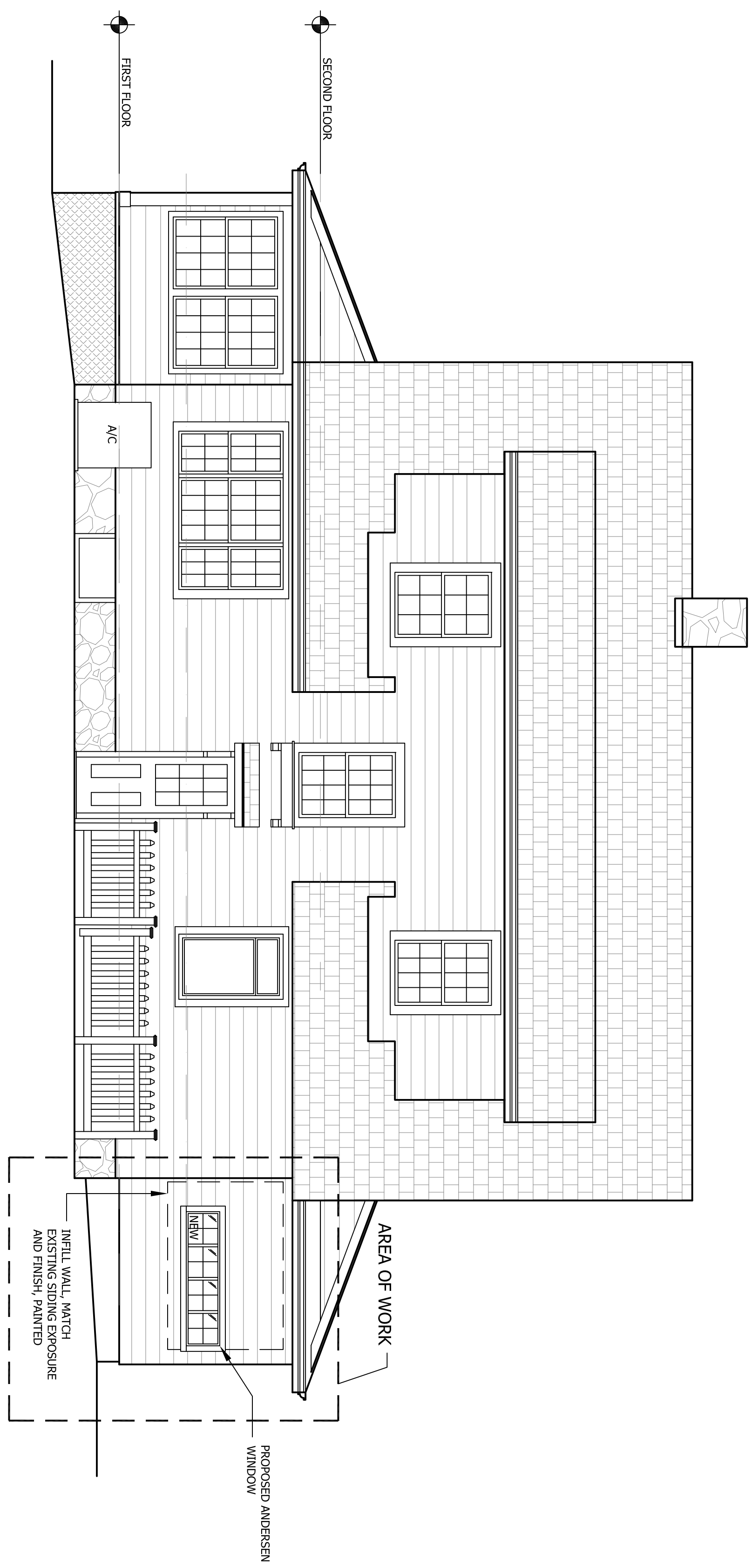
PHASE:
VILLAGE SUBMITTALS



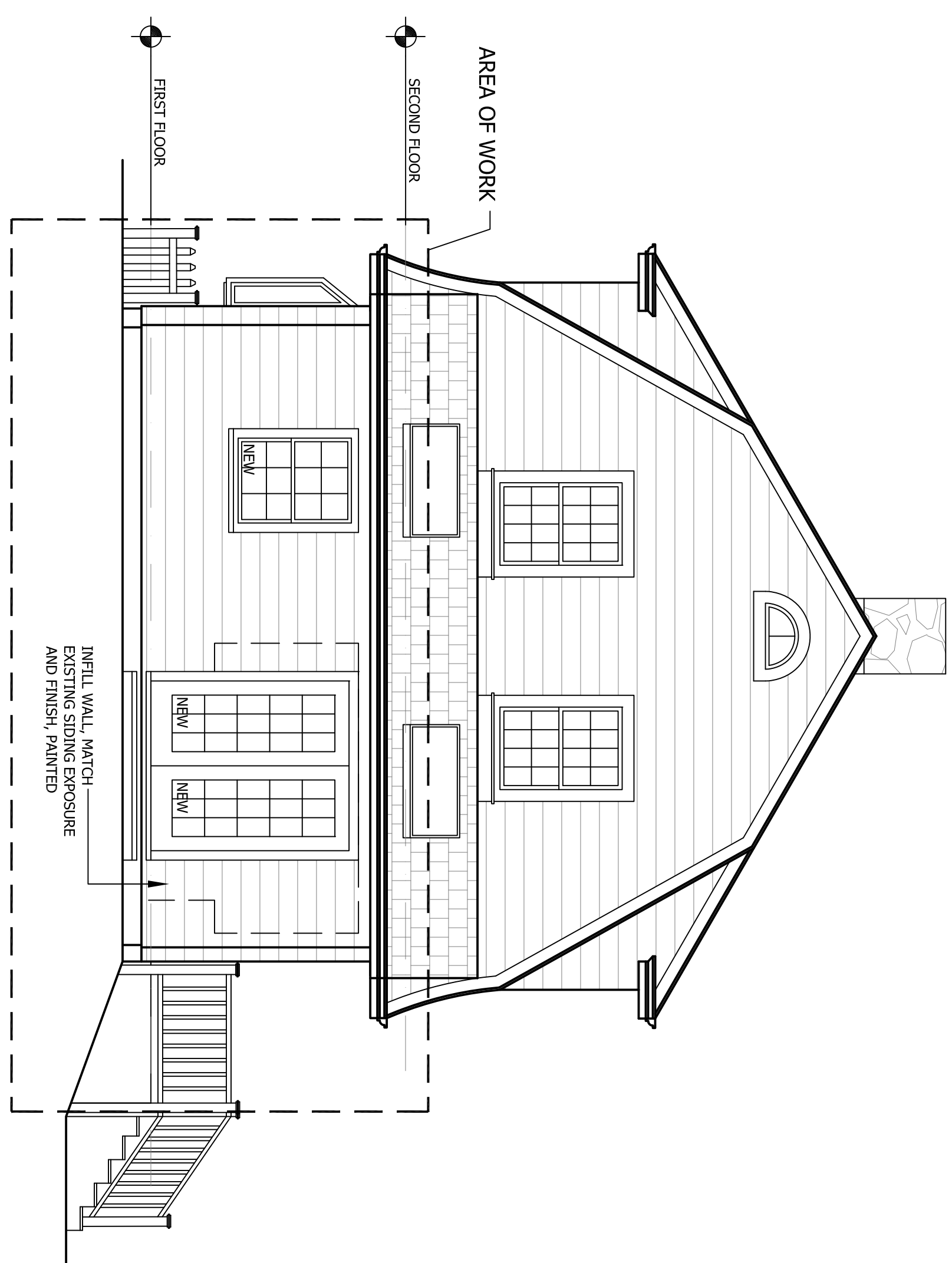
1
EXISTING REAR ELEVATION
SCALE : 1/4" = 1'-0"



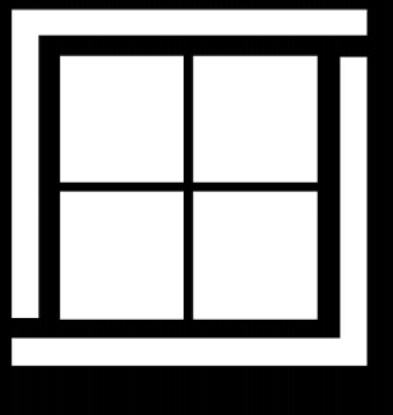
3
EXISTING LEFT ELEVATION
SCALE : 1/4" = 1'-0"



2
PROPOSED REAR ELEVATION
SCALE : 1/4" = 1'-0"



4
PROPOSED LEFT ELEVATION
SCALE : 1/4" = 1'-0"



LEWIS + LEWIS
ARCHITECTS

753 FOREST AVENUE
LARCHMONT, NY 10538
914.315.6323
LEWISANDLEWISARCHITECTS.COM

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PLANS.

DESCRIPTION	ISSUED / REVISIONS	DATE
ARB SUBMISSION		03/17/22
ARB MEETING		3/20/22

LISCHWE

INTERIOR KITCHEN
RENOVATION
WITH 3 NEW WINDOWS
AND 1 NEW DOOR

11 Summit Ave
Larchmont
New York 10538

NOTES

SHEET DESCRIPTION:
EXISTING AND
PROPOSED EXTERIOR
ELEVATIONS

SHEET No.
A-4.1

PHASE:
VILLAGE SUBMITTALS