

19 LOCUST DECK & HOT TUB ADDITION

19 LOCUST AVENUE, LARCHMONT, NY 10538

ARCHITECTURAL DRAWING INDEX

DWG. NO.	DRAWING TITLE	ISSUES & REMARKS				
		NEW ISSUE	REVISED ISSUE	NO CHANGES	3/19/2021 PRE-SUBMISSION	4/29/2021 PLANNING BOARD
T-100	TITLE SHEET/ PROJECT INFORMATION					
A-100	PARTIAL BASEMENT AND FIRST FLOOR PLANS					
A-200	WEST ELEVATION					
A-201	NORTH ELEVATION					
A-202	EAST ELEVATION					
A-203	SOUTH ELEVATION					

ZONING BOARD OF APPEALS APPROVAL 15.2022
 PLANNING BOARD APPROVAL 1/8.2022

PROJECT INFORMATION

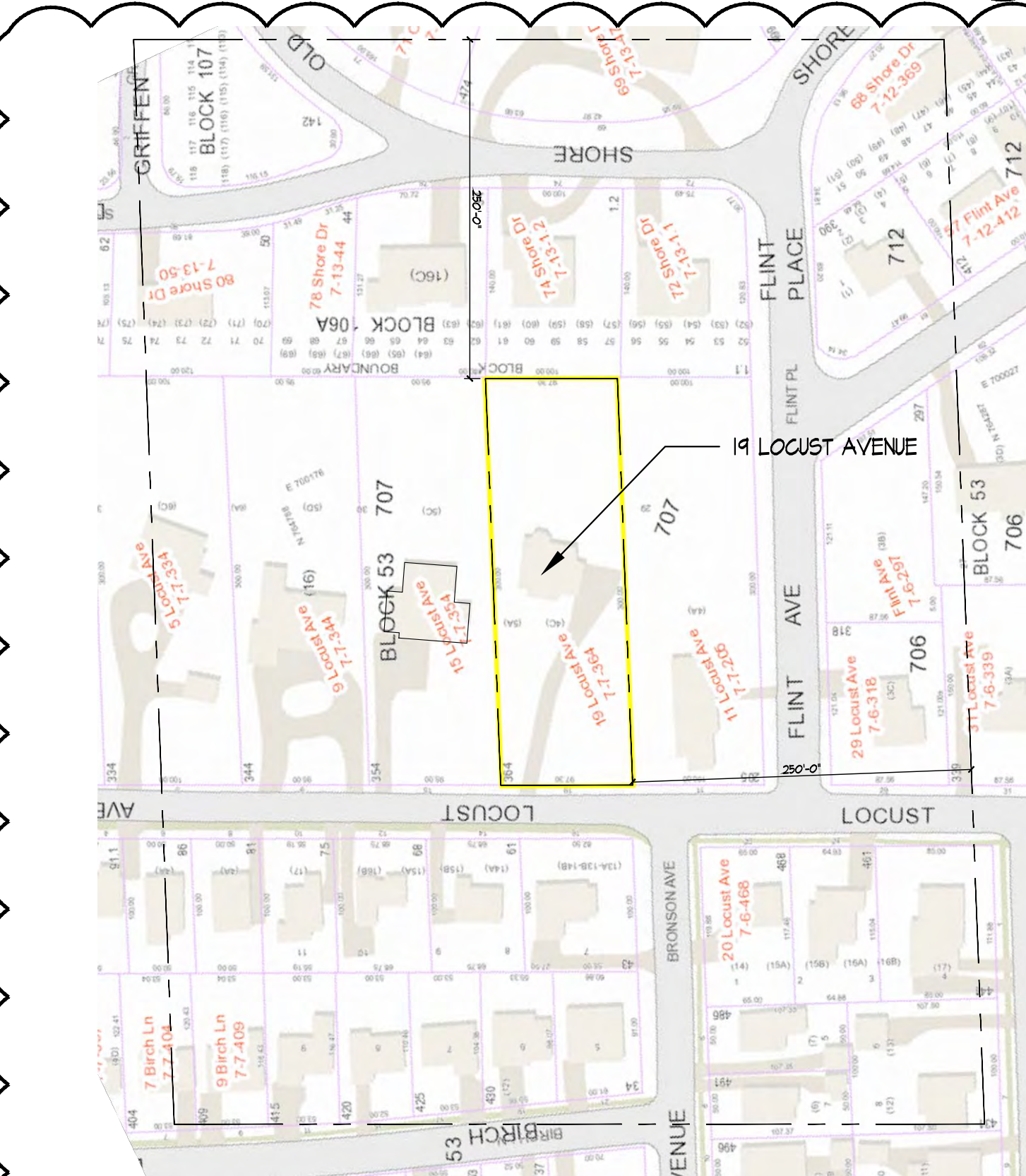
ZONING INFORMATION:			
SECTION	T		
BLOCK	707		
LOT	364		
ZONE	R-15		
	REQUIRED	EXISTING	PROPOSED
LOT AREA	15,000 S.F.	24,170 S.F.	NO CHANGE
F.A.R.	0.325	0.185	NO CHANGE
LOT COV. PRINCIPAL BLDG.	22.5	7.6	8.5
LOT WIDTH	100.00'	97.30'	NO CHANGE
LOT COVERAGE	40%	23.5%	24.3%
FRONT YARD	30.00'	138.00'	NO CHANGE
1 SIDE YARD*	12.00'	4.30'	NO CHANGE
TOTAL OF 2 SIDE YARDS*	24.00'	42.30'	NO CHANGE
REAR YARD	30.00'	100.67'	NO CHANGE
STORIES / HT.	2 1/2 / 30.00'	2 1/2 / 30.00'	NO CHANGE

EX. F.A.R. CALCULATIONS

BASEMENT	1,731 SF
1ST FLOOR	1,872 SF
2ND FLOOR	1,142 SF
ATTIC	651 SF
TOTAL	5,396 SF

$5,396 \text{ SF} / 24,170 \text{ SF} = 0.223$

*SECTION 301-37, MAXIMUM GROSS FAR & INCREASED SETBACKS IN R-15 ZONE
 $5,396 \text{ SF FAR} = 12' \text{ ONE SIDE YARD, } 24' \text{ TOTAL SIDE YARD}$



1 LOCATION PLAN (AS PER WESTCHESTER COUNTY GIS)

40'-0" = 1'-0"

TABLE R301.2(1)
 CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

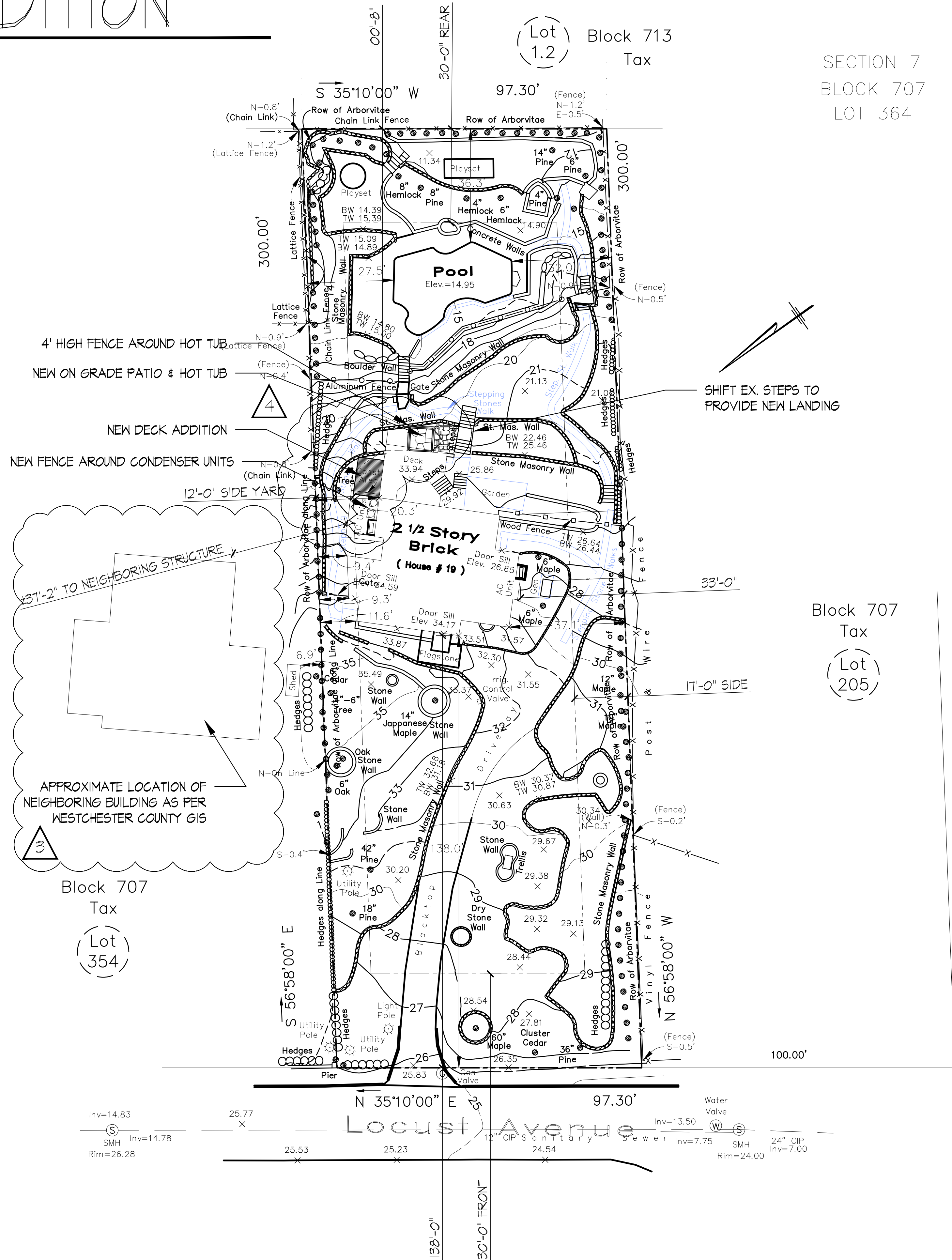
GROUND SNOW LOAD	WIND SPEED (mph)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN CRITERIA	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	
			WEATHERING	FROST LINE DEPTH	TERMITE					DECAY
30 PSF	100/10	C	SEVERE	42"	MODERATE TO HEAVY	SLIGHT TO MODERATE	7	YES, IN ALL NEW LEAVES	FIRM 4/28/01	618

4' HIGH FENCE AROUND HOT TUB
 NEW ON GRADE PATIO & HOT TUB
 NEW DECK ADDITION
 NEW FENCE AROUND CONDENSER UNITS

APPROXIMATE LOCATION OF NEIGHBORING BUILDING AS PER WESTCHESTER COUNTY GIS

Block 707
 Tax
 (Lot 354)

2 EXISTING PROPERTY SURVEY
 20'-0" = 1'-0"



Block 707
 Tax
 (Lot 205)

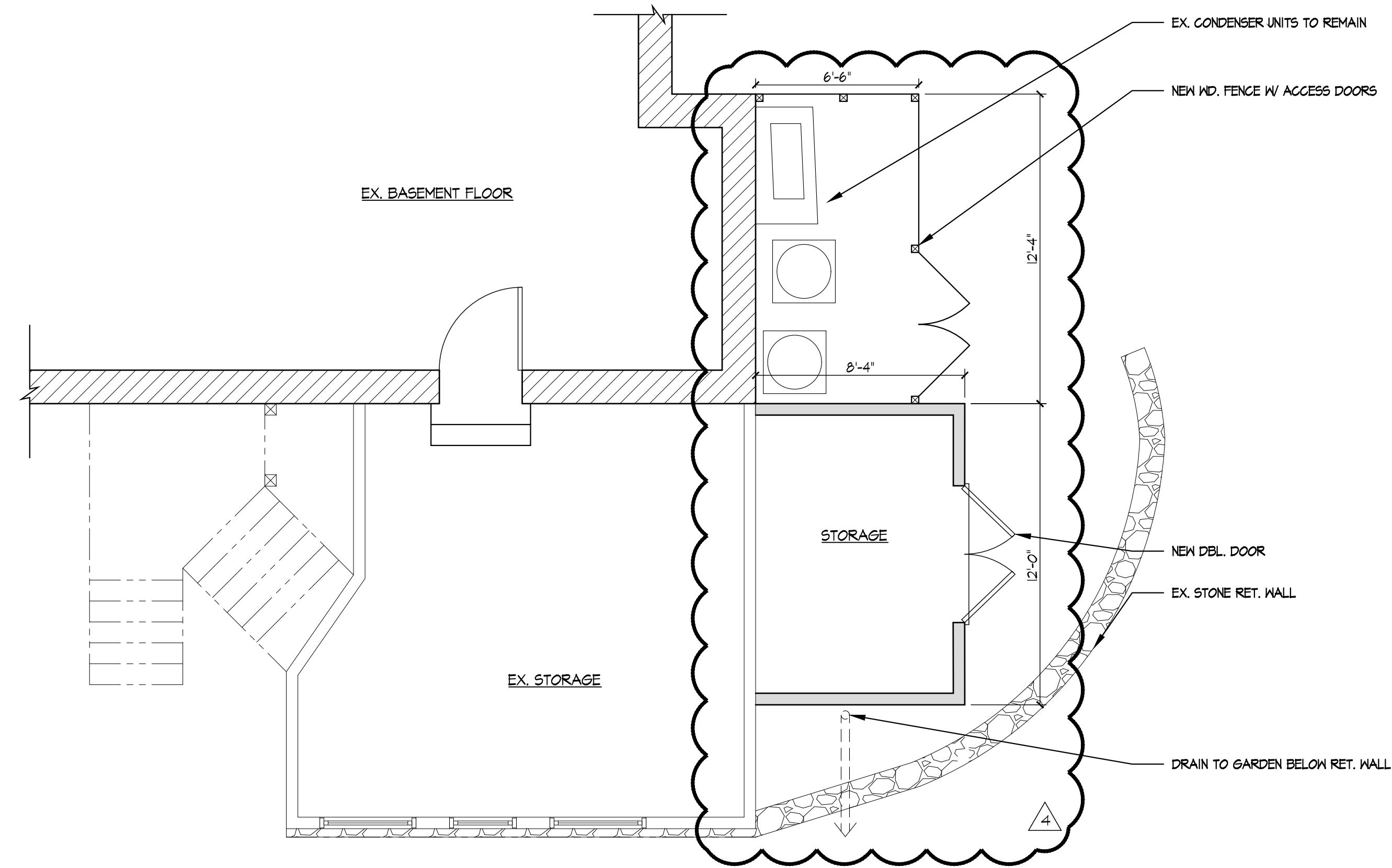
ZONING BOARD OF APPEALS APPROVAL 15.2022
 PLANNING BOARD APPROVAL 1/8.2022

DATE	REVISION #	REMARKS
10.21.20	1	PLANNING CONSULTANT MEETING
3.14.21	2	PRE-SUBMISSION
4.24.21	3	PLANNING BOARD SUBMISSION
8.23.21	4	REVISED SITE PLAN, PLANS & ELEV. PLANNING BOARD SUBMISSION
2.4.22		ARB SUBMISSION

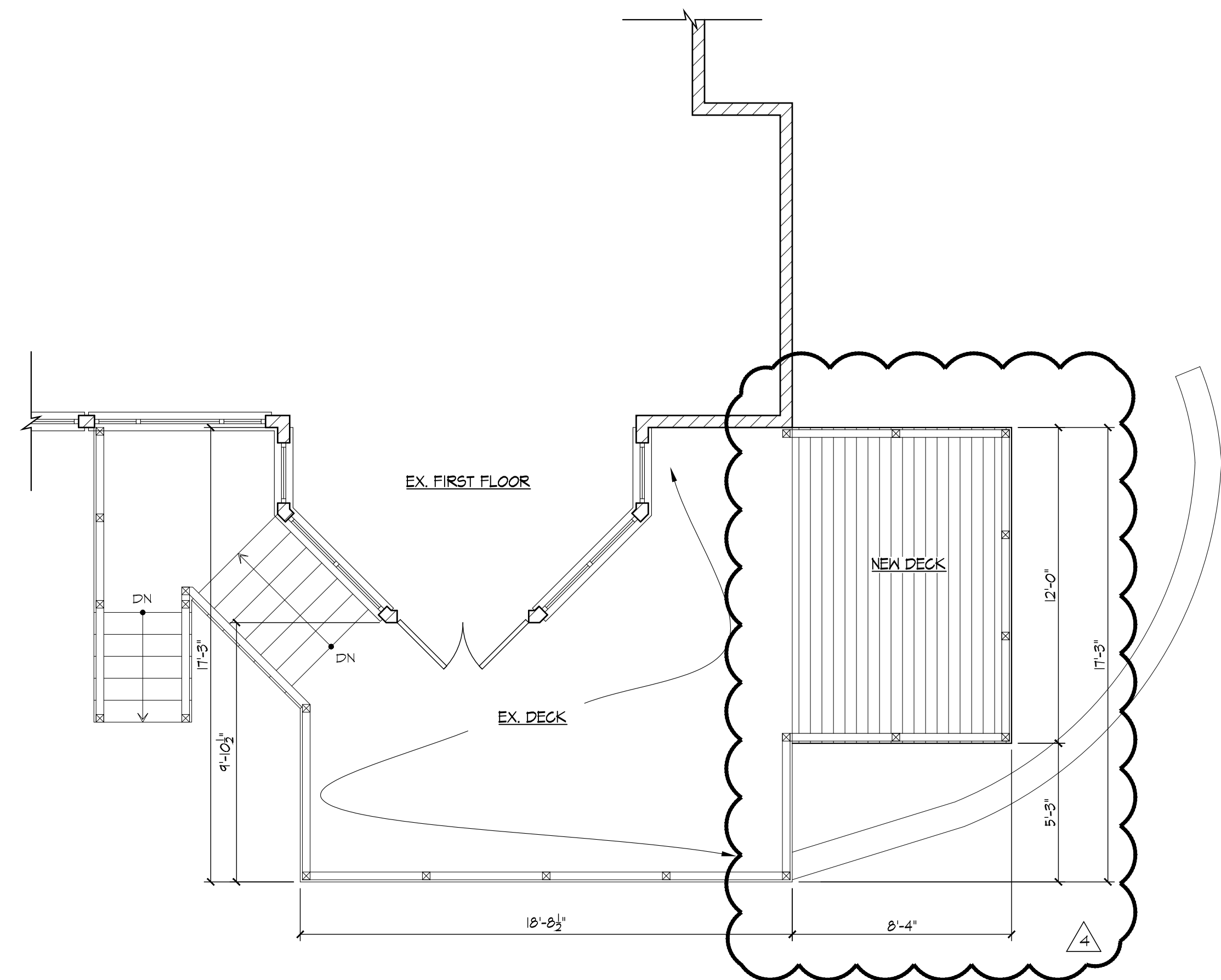
PROJECT
 DECK ADDITION & HOT TUB
 19 LOCUST AVENUE
 LARCHMONT, NY 10538

DRAWING TITLE
 TITLE SHEET

PROJECT ARCHITECT	PROJECT #	0013-1
REX B. GEDNEY	SCALE:	AS NOTED
	DATE:	9.20.20
	DRAWN:	NOF
	CHECKED:	R.B.G.
	SHEET NUMBER	T-100



1 PARTIAL BASEMENT & DECK PLAN ON GRADE
 1/4" = 1'-0"



2 PARTIAL 1ST FLOOR PLAN (DECK ADDITION)
 1/4" = 1'-0"

ZONING BOARD OF APPEALS APPROVAL 1/5/2020
 PLANNING BOARD APPROVAL 1/8/2022

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10.21.20	1	PLANNING CONSULTANT MEETING
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PROJECT
 DECK ADDITION & HOT TUB
 19 LOCUST AVENUE
 LARCHMONT, NY 10538

DRAWING TITLE
 FLOOR PLANS

PROJECT ARCHITECT REX B. GEDNEY	PROJECT # 0013-1
DATE 9.20.20	SCALE AS NOTED
DRAWN NOF	CHECKED R.B.G.
CAD FILE	SHEET NUMBER A=100
X-REF	



1 WEST ELEVATION
1/4" = 1'-0"

ZONING BOARD OF APPEALS APPROVAL 1/5/2020
PLANNING BOARD APPROVAL 1/8/2022

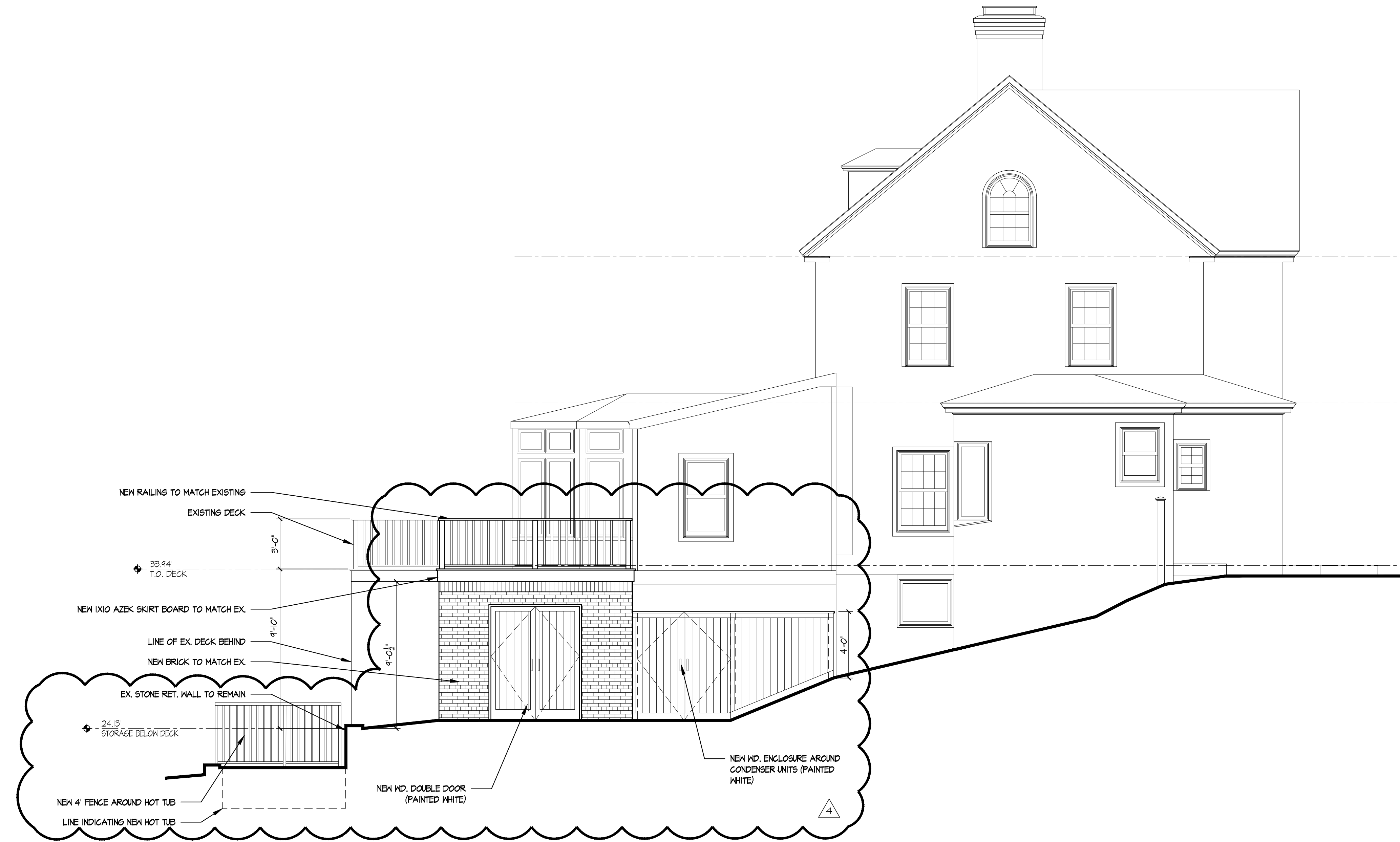
DATE	REVISION #	REMARKS
10.21.20	1	PLANNING CONSULTANT MEETING
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PROJECT

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LARCHMONT, NY 10538

DRAWING TITLE
WEST ELEVATION

PROJECT ARCHITECT REX B. GEDNEY	PROJECT # 0013-1
DATE: 9.20.20	SCALE: AS NOTED
DRAWN: NOF	CHECKED: R.B.G.
CAD FILE:	SHEET NUMBER A-200
X-REF:	



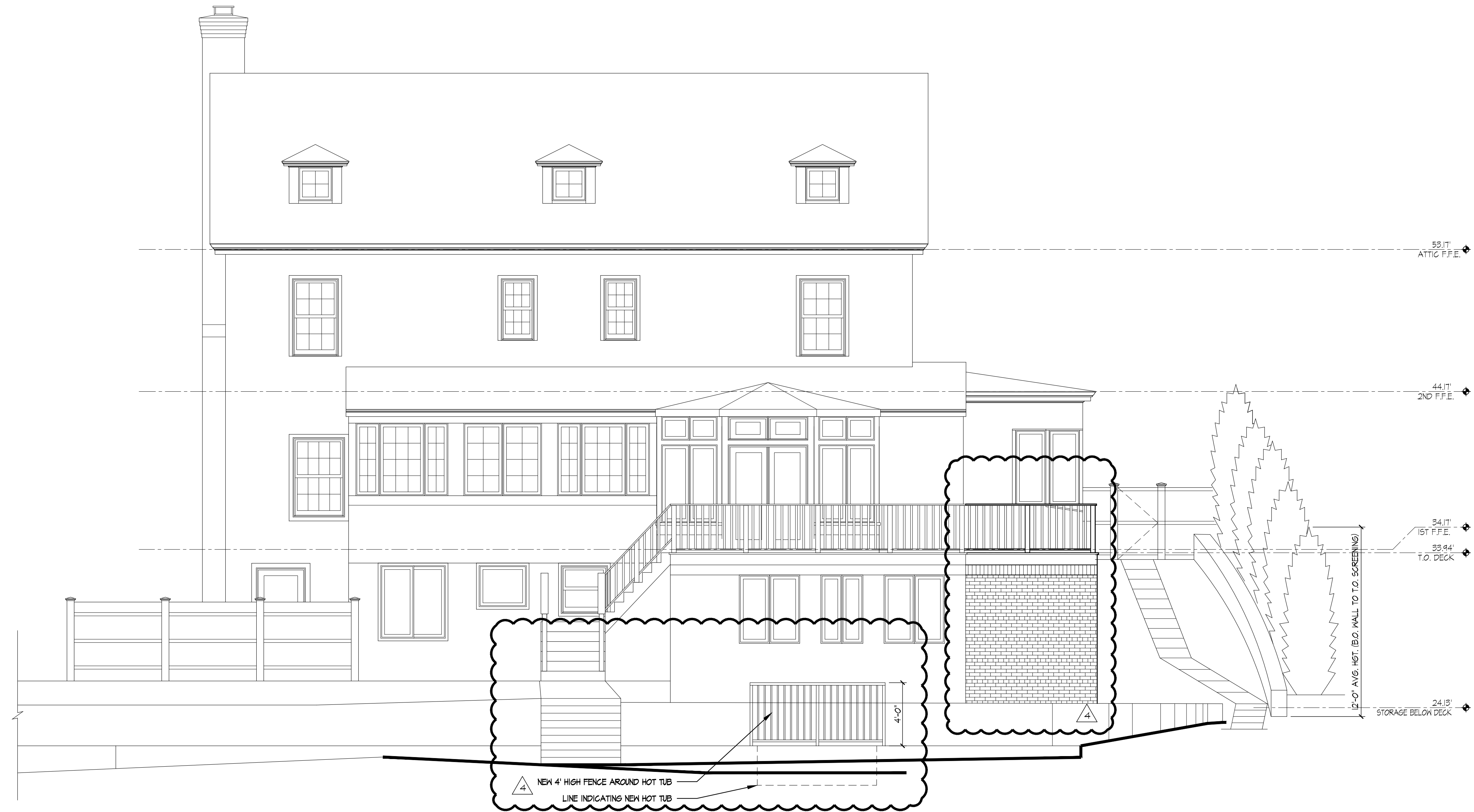
1 NORTH ELEVATION
1/4" = 1'-0"

DATE	REVISION #	REMARKS
10.21.20	1	PLANNING CONSULTANT MEETING
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DRAWING TITLE
NORTH ELEVATION

PROJECT ARCHITECT REX B. GEDNEY	PROJECT # 0013-1
DATE: 9.20.20	SCALE: AS NOTED
DRAWN: NOF	CHECKED: R.B.G.
CAD FILE:	SHEET NUMBER A-201



1 EAST ELEVATION
1/4" = 1'-0"

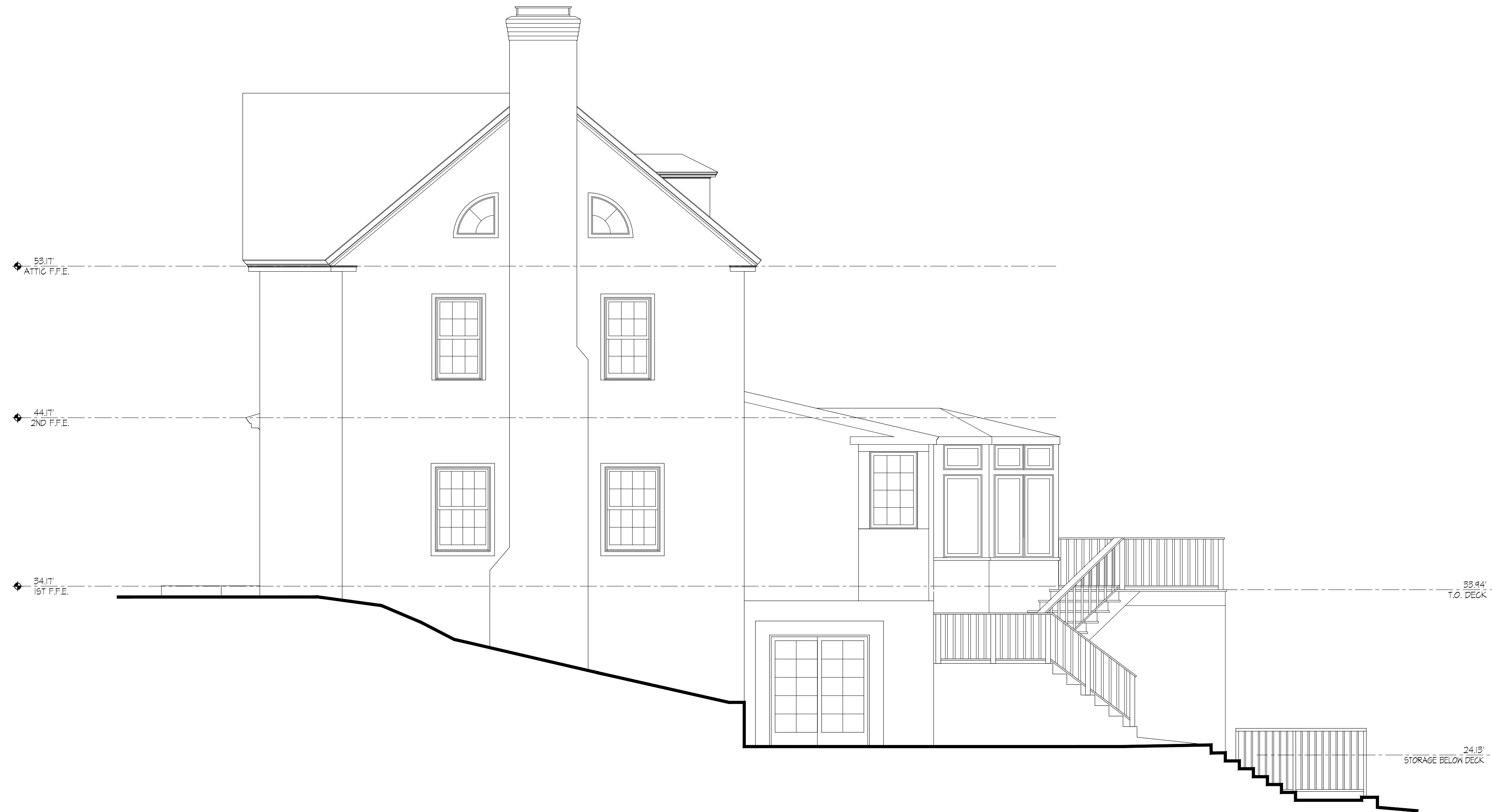
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DRAWING TITLE
EAST ELEVATION

PROJECT ARCHITECT REX B. GEDNEY	PROJECT # 0013-1
DATE: 9.20.20	SCALE: AS NOTED
DRAWN: NOF	CHECKED: R.B.G.
CAD FILE:	SHEET NUMBER A-202
X-REF:	



1 SOUTH ELEVATION
1/4" = 1'-0"

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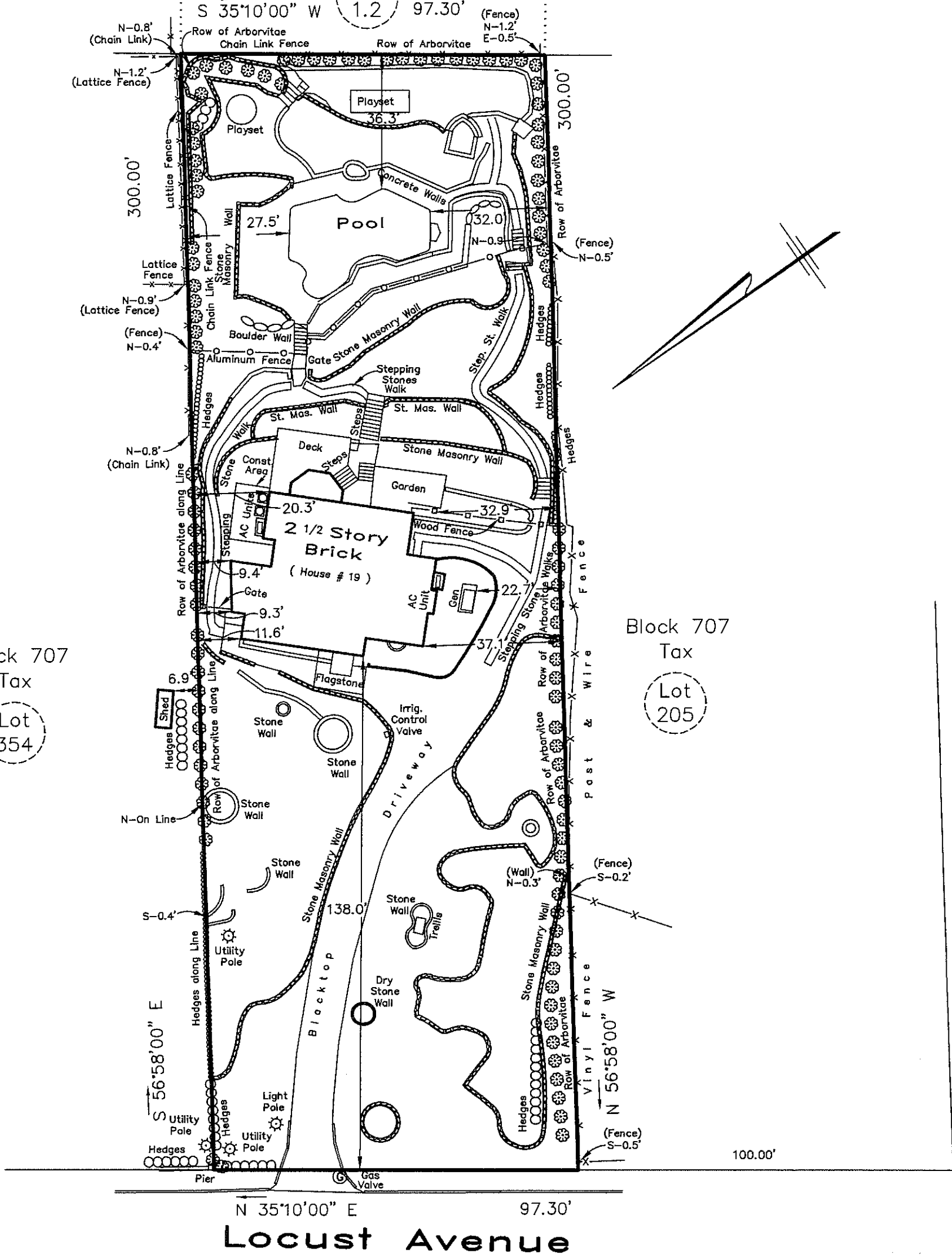
DRAWING TITLE

SOUTH ELEVATION

PROJECT ARCHITECT REX B. GEDNEY	PROJECT # 0013-1
DATE: 9.20.20	SCALE: AS NOTED
DRAWN: NOF	CHECKED: R.B.G.
CAD FILE:	SHEET NUMBER A-203
X-REF:	

Block 713
Tax

Lot 1.2
97.30'



Flint Avenue

Block 707
Tax
Lot 354

Block 707
Tax
Lot 205

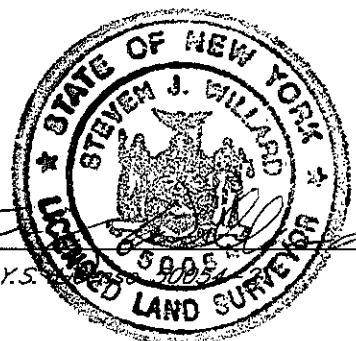
SURVEY OF TAX LOT 364 IN BLOCK 707 SECTION 7
AS SHOWN ON THE TOWN OF MAMARONECK TAX ASSESSMENT MAPS.
ALSO SHOWN IN CONTROL # 55328-3238 OF DEEDS ON FILE AT THE
COUNTY CLERK'S OFFICE (DIVISION OF LAND RECORDS)

January 20, 2021
Updated August 19, 2021, 2021

SURVEYED AS IN POSSESSION
THE MUNSON COMPANY
9 NORTH GOODWIN AVENUE
ELMSFORD, N.Y.

10523

Scale 1"=30'



"Unauthorized alterations or additions to a survey map is a violation
of section 7209, sub-division 2, of the New York State Education Law."
"Only copies of the original survey marked with the land surveyor's
inked or embossed seal shall be considered a true and valid copy."

UNDERGROUND PIPES, WIRES, STRUCTURES,
ETC., IF ANY ARE NOT SHOWN









