



Village of Larchmont [villageoflarchmont.org](http://villageoflarchmont.org)  
 Building Department Architectural Review Board Application  
 120 Larchmont Avenue, Larchmont, New York 10538 Phone (914) 834-4349  
**ARCHITECTURAL REVIEW BOARD**  
**APPLICATION**

**TO BE COMPLETED BY APPLICANT**

Application date: March 14, 2022		Application Fee: \$150.00	
Please fill in dates or N/A (Not Applicable) Note: Dates must be on plans submitted Board Approval Date: <input checked="" type="checkbox"/> Zoning Not Required		Please fill in dates or N/A (Not Applicable) Note: Dates must be on plans submitted Board Approval DATE: <input checked="" type="checkbox"/> Planning 2/15/2022	
		Please fill in dates or N/A (Not Applicable) Note: Dates must be on plans submitted Board Approval DATE: <input checked="" type="checkbox"/> ARB 3/30/2022	

**SITE IDENTIFICATION INFORMATION**

Project Address:  
No. 44 Street Iselin Terrace

Village of Larchmont Tax Map Designation:  
Section 6 Block 16 Lot(s) 350

Business Name:  
Erica and Alexander Zimmerman, Owners

Description of Project:  
Interior kitchen renovation and deck addition

**APPLICANT/OWNER INFORMATION**

Contractor (Signage Company): TBD	Phone #: Fax#:	Email:
Owners Address: No. 44 Street: Iselin Terrace Town: Larchmont State: NY Zip: 10538	Phone #: (914) 315-6454 Fax#:	Email: greg@lewisandlewisarchitects.com
Applicant (If different than owner): Gregory Lewis, Lewis + Lewis Architects	Phone #: (914) 315-6454 Fax#:	Email: greg@lewisandlewisarchitects.com
Applicant Address (If different than owner): No. 144 Street: Larchmont Avenue, Unit 1 Town: Larchmont State: NY Zip: 10538	Phone #: (914) 315-6454 Fax#:	Email: greg@lewisandlewisarchitects.com
Representatives & Title: Architect	Phone #: (914) 315-6454 Fax#:	Email: greg@lewisandlewisarchitects.com
Address: No. 144 Street: Larchmont Avenue, Unit 1 Town: Larchmont State: NY Zip: 10538		

**AFFIDAVIT OF OWNERSHIP**

State of New York  
County of Westchester

I, Gregory Lewis being duly sworn;  
PRINT NAME

Deposes and states; that Alexander and Erica Zimmerman is the Owner in fee of the premises to which this Application applies; that the Applicant is duly authorized to make this Application; and that the statements made here are true to the best of the Applicant's knowledge and belief, and that the work will be performed in the manner set forth in the Application filled therewith, and in accordance with all applicable laws, ordinances and regulations.

NOTARY SEAL

Signature \_\_\_\_\_

Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_

\_\_\_\_\_  
NOTARY



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44 Iselin Terrace, Larchmont, NY

**ARCHITECTURAL REVIEW BOARD SUBMISSION REQUIREMENTS**

The following are minimum presentation requirements.  
Additional supporting items may be requested by the reviewing Board.

**Incomplete application packages may not be accepted / reviewed**

**Application**

- X Application Form must be 100% complete – No Blank Spaces Please.
- X Six (6) Packets – Each to include

**Survey**

- X Official stamped survey, (not older than 3 years)
- X Survey must show existing structures, setbacks, and property lines

**Site Plan**

- X Show area of new work
- X Proposed landscaping
- X Site changes
- X Setbacks and projections
- X Adjacent structures

**Photographs**

- X Photos of existing building elevations and any other relevant data such as neighboring architecture, or precedents supporting design

**Existing Plans and Elevations**

- X Not less than 1/8" scale
- X Complete building must be included

**Proposed Plans and Elevations**

- X Not less than 1/4" scale
- X Complete building must be included, no partial elevations, all sides must be included
- X Areas of new construction should be clearly identified from the existing structure
- X Dimensions must include and identify major walls and features
- X Elevations should identify significant materials, floor-to-floor and roof heights

**Details**

- X Applicable section and plan details
- X Show material profiles and transitions of key elements such as foundations, windows, doors, eaves, and decorative features

**Material Samples**

- X Applicants are encouraged to bring to the public meeting applicable material samples

*These are minimum presentation requirements; the Board reserves the right to request additional material on a case-by-case basis.*



## ARCHITECTURAL REVIEW BOARD APPLICATION GUIDELINES

### STEPS TO OBTAIN ARB APPROVAL:

1. Submit a complete Architectural Review Board (ARB)
2. Submit all relevant application fee
3. Attend an ARB public hearing with all required submission materials (see page 2). **Both applicant and owner need to be present at ARB hearing.**

### ARB REVIEW:

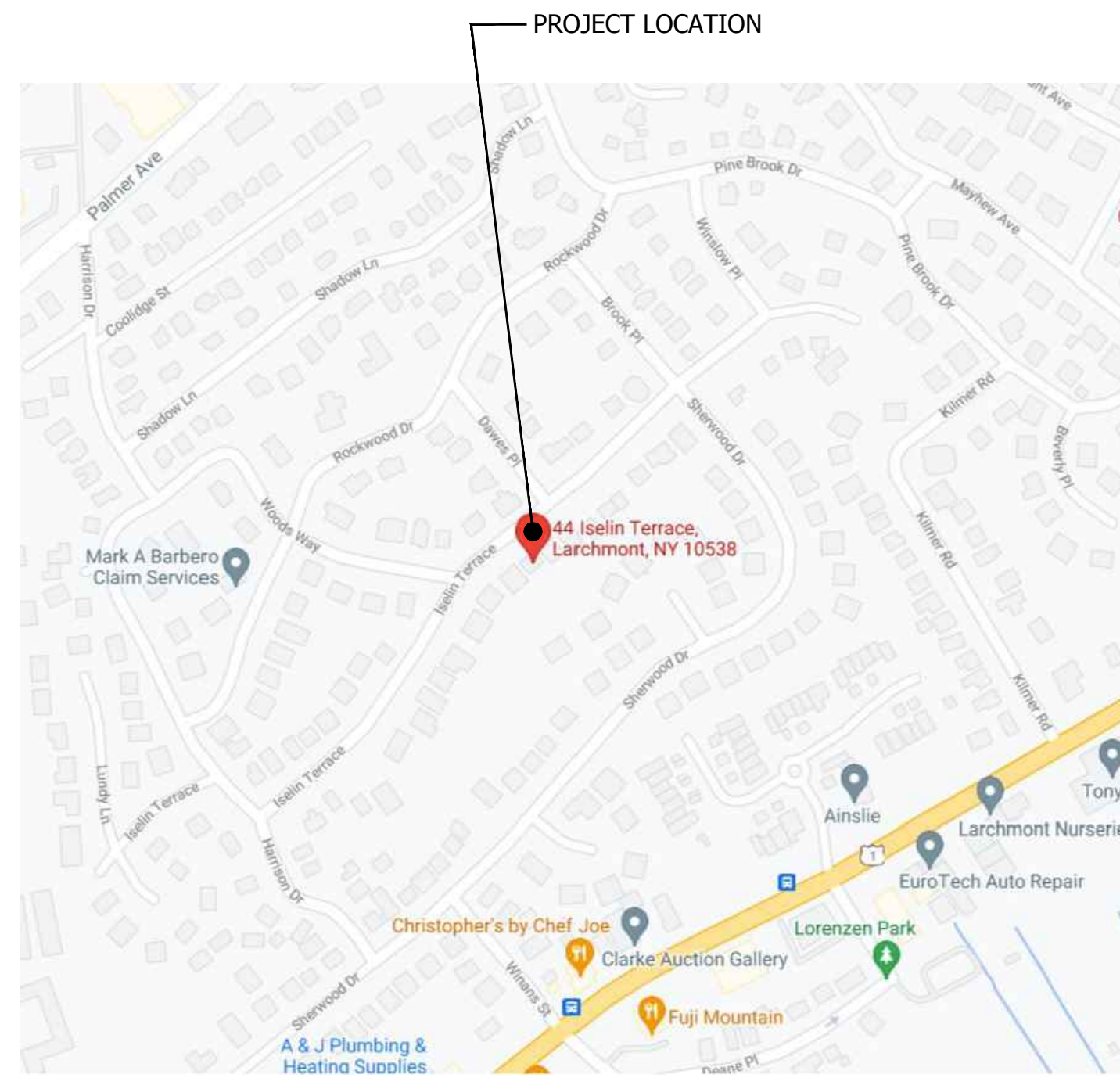
- Applicants must complete the **ARB Application** – (see Page 1)
- As per the **Submission Requirements** – (see Page 2) each application must include: application form, scaled drawings, photographs, material samples, etc.
- Application Fee – check the [Building Department Schedule of Fees](#) for current charges
- Submit six (6) packets for review – (see Page 2)
- Applications will be reviewed and require ARB approval before a permit will be issued
- Please check the [Village calendar](#) for submission deadlines and public hearing dates
- Applications may require Planning and/or Zoning Board approval

**All applications must be delivered in person to the Building Department**

In order to ensure the most expedient review of your application, please meet all **Submission requirements**

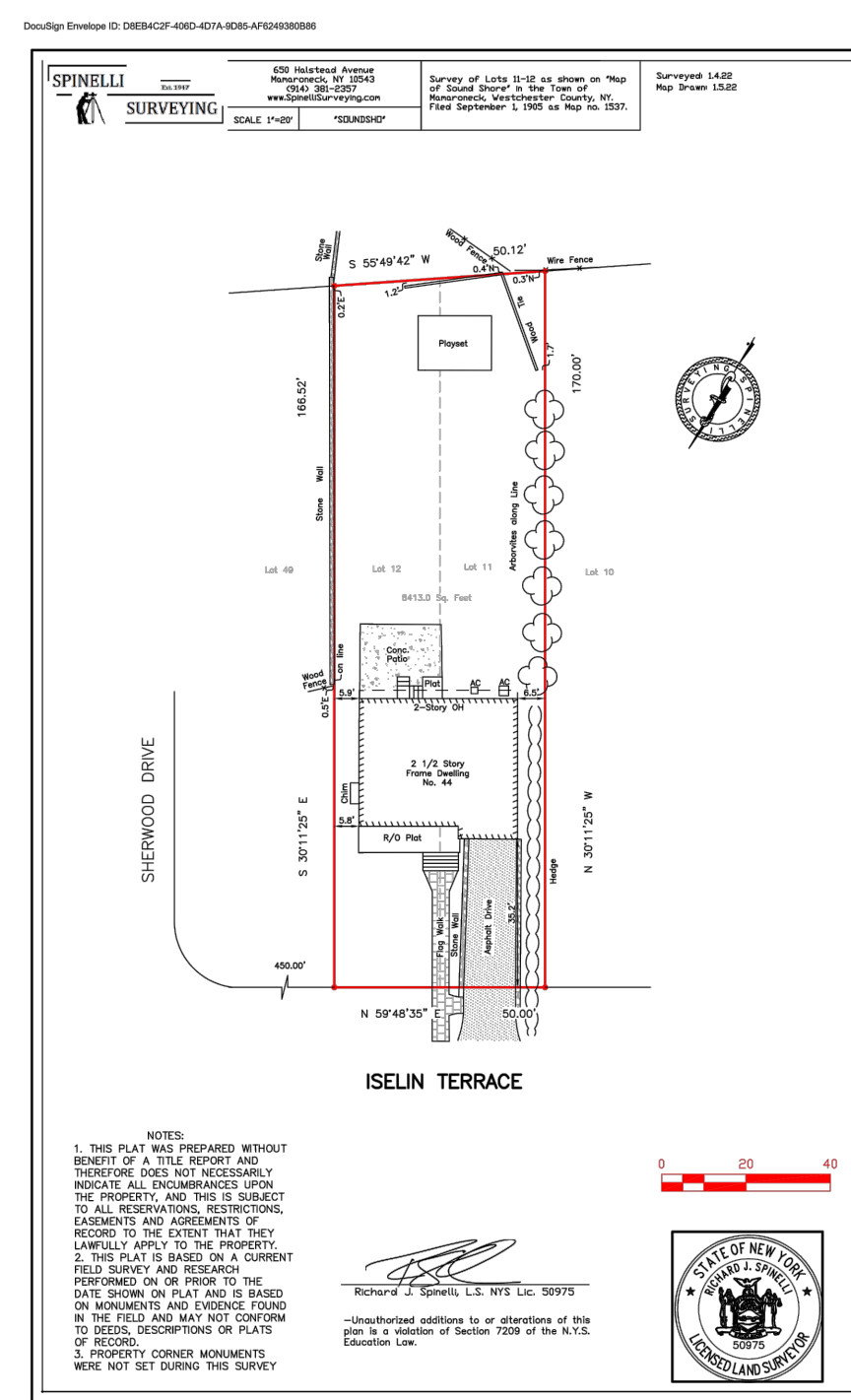
**Incomplete application packages may not be accepted / reviewed**

LOCATION



**LOCATION MAP**  
NO SCALE

SURVEY



**SURVEY** ORIGINAL DRAWING BY RICHARD J SPINELLI DATED ON 01/04/2022  
NOT TO SCALE NOT A LEGAL SURVEY, FOR REFERENCE ONLY

PROJECT NAME

**ZIMMERMAN RESIDENCE**

**KITCHEN RENOVATION AND REAR DECK ADDITION**

**44 ISELIN TERRACE  
LARCHMONT, NEW YORK 10538**

CODE AND BUILDING DATA

HABITABLE AREA - SQUARE FEET	EXISTING	PROPOSED ADDITION	TOTAL
FIRST FLOOR	1,182*	0	1,182*
SECOND FLOOR	1,292*	0	1,292*
<b>TOTAL</b>	<b>2,474*</b>	<b>0</b>	<b>2,474*</b>

VILLAGE OF LARCHMONT - SCHEDULE OF DIMENSIONAL REGULATIONS  
ZONING DISTRICT: R-7.5 LOT SIZE IS: 8,413 SF

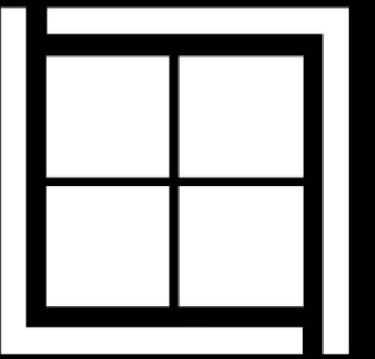
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA - SQUARE FEET	7,500*	8,413' *	8,413' *
MINIMUM LOT WIDTH	65*	50*	50*
MINIMUM YARD DIMENSIONS - PRINCIPAL BUILDING			
FRONT YARD	30'	35.2' *	35.2' *
ONE SIDE YARD	10'	6.9' *	6.9' *
SIDE YARD (TO PROPOSED DECK)		-	10.1'
SIDE YARD (BOTH)	22'	12.4' *	12.4' *
SIDE YARD (TO PROPOSED DECK)		-	22.2'
REAR YARD	25'	98.2' *	98.2' *
REAR YARD (TO PROPOSED DECK)		-	86.6'

	ALLOWED	EXISTING	PROPOSED
MAXIMUM PERCENTAGE OF LOT TO BE OCCUPIED			
PRINCIPAL BUILDING	25%	14% *	14% *
MAXIMUM HEIGHT			
PRINCIPAL BUILDING (STORIES)	2.5	2 *	2 *
PRINCIPAL BUILDING (FEET)	30'	29' *	29' *

LOCAL LAW 11-2016 NOT APPLICABLE FOR A DECK  
EXISTING FLOOR AREAS WERE OBTAINED BY TOWN OF MAMARONECK WEB SITE

	ALLOWED	EXISTING	PROPOSED
LOT COVERAGE PER LOCAL LAW 12-2016 (SF)	47%	30.5%	30.4%
	3,919 SF	2,562 SF	2,555 SF *

\* EXISTING CONDITION, NO CHANGE REQUESTED



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ISSUED / REVISIONS

DESCRIPTION	DATE
PLANNING CONSULTANT SUBMITTAL	12/20/2021
ARB SUBMITTAL	03/17/2022
ARB MEETING	03/30/2022

**ZIMMERMAN  
RESIDENCE**

44 Iselin Terrace,  
Larchmont  
New York 10538

NOTES



SHEET DESCRIPTION:

**TITLE SHEET**

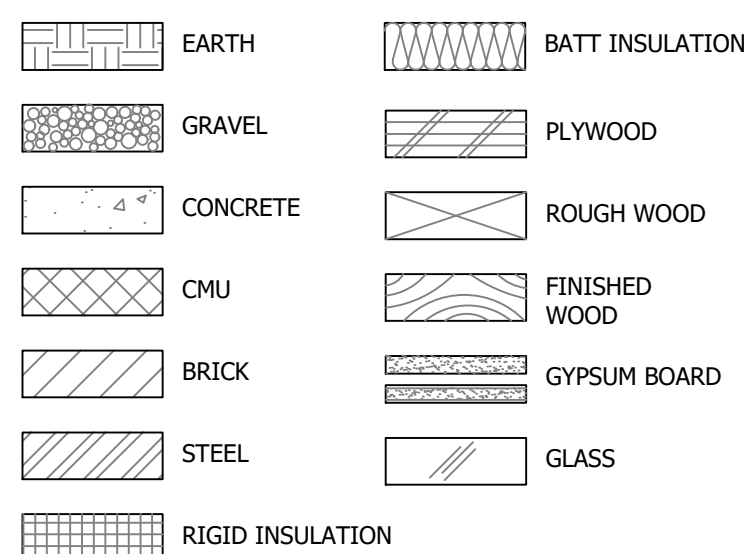
SHEET No.

**T-1**

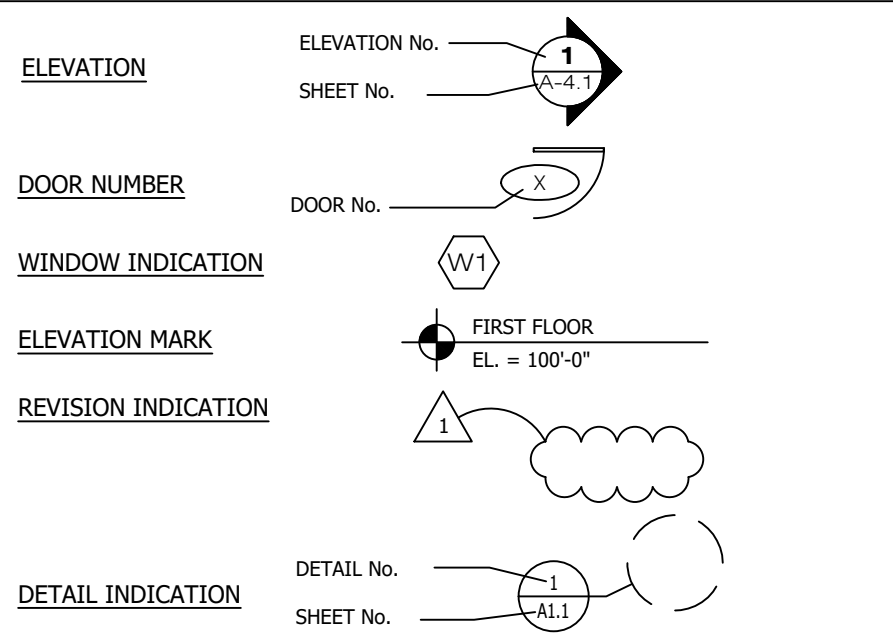
PHASE:

**VILLAGE BOARDS**

MATERIAL



SYMBOLS



SCOPE OF WORK

THE PROJECT SCOPE OF WORK IS:

- KITCHEN RENOVATION
- REAR DECK ADDITION

SEE FULL SET OF DRAWINGS TO SEE ENTIRE SCOPE OF WORK

BY OWNER

THE FOLLOWING ITEMS ARE TO BE PROVIDED BY THE OWNER AND INSTALLED BY THE GENERAL CONTRACTOR:

- SURFACE MOUNTED LIGHTS
- LIGHTING FIXTURES
- CABINETS AND APPLIANCES
- TILE

GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- THE ARCHITECT CERTIFIES THESE DRAWINGS TO BE IN COMPLIANCE WITH THE 2020 RESIDENTIAL CODE OF NYS (ALSO CALLED 2020 IRC) AND THE 2020 ENERGY CONSERVATION CODE OF NYS (ALSO CALLED 2020 IREC). SEE "BUILDING ENVELOPE THERMAL COMPONENTS CRITERIA" FOR ENERGY COMPLIANCE INFORMATION.
- ALL CONSTRUCTION IS TO CONFORM WITH ALL APPLICABLE CODES, ORDINANCES, ETC. INCLUDING THE RESIDENTIAL CODE OF NEW YORK STATE 2020 RESIDENTIAL ENERGY CODE OF NEW YORK STATE.
- THE WORK TO BE PROVIDED ON THIS PROJECT SHALL INCLUDE ALL NECESSARY COMPONENTS EVEN THOUGH NOT SPECIFICALLY MENTIONED OR SHOWN; AND THE CONTRACTOR SHALL NOT AVAIL HIMSELF OF ANY MANIFESTLY UNINTENTIONAL OMISSIONS, SHOULD THEY EXIST. THESE DRAWINGS REPRESENT A "BUILDER SET" OF DRAWINGS AND ARE TO BE USED AS A GUIDE TO THE CONSTRUCTION PROCESS. THEY DO NOT REPRESENT A FULL OR COMPLETE ARCHITECTURAL SERVICE.
- ARCHITECT SUPERVISION OF CONSTRUCTION IS NOT INCLUDED WITH THESE DRAWINGS. THEREFORE THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR WORKMANSHIP, CODE OR PLAN COMPLIANCE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL MATERIALS, DIMENSIONS, DETAILS AND CONDITIONS AND SHALL REPORT ANY ALLEGED DIFFERENCES OR DISCREPANCIES AT ONCE TO THE OWNER.
- IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND REFERENCED STANDARDS OF THESE SPECIFICATIONS THE MORE STRINGENT PROVISIONS SHALL GOVERN.
- STRUCTURAL SPECIFICATIONS AND DRAWINGS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ARCHITECTURAL PRACTICE TO MEET MINIMUM REQUIREMENTS OF THE RESIDENTIAL CODE OF NEW YORK STATE.
- CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE NOR SHALL THEY BE IN EXCESS OF DESIGN LOADING INDICATED ON DRAWINGS.
- ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS MEANS, METHODS, TECHNIQUES OR SEQUENCES OF CONSTRUCTION AND THE SAFETY PROCEDURES EMPLOYED BY HIM.
- BUILDING INSPECTOR NOTE THAT THESE PLANS ARE INVALID...  
A. IF ALTERED.  
B. IF NOT STAMPED BY A NEW YORK STATE REGISTERED ARCHITECT WHOSE SEAL MUST BE EITHER IMPRESSED OR ORIGINALLY STAMPED.  
C. IF NOT COLLATED WITH ALL PRESCRIBED SHEETS, INCLUDING THESE NOTES.
- ALL CHANGES TO THESE PLANS MAY ONLY BE APPROVED WITH THE CONSENT OF THE ARCHITECT AND OWNER.
- ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL BE HANDLED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PROVISIONS. WHERE SPECIFIC MANUFACTURED PRODUCTS ARE CALLED FOR, GENERIC EQUALS, WHICH MEET APPLICABLE STANDARDS AND SPECIFICATIONS, MAY BE USED.
- IN THE ABSENCE OF A SOILS REPORT THE DRAWINGS SHOWING THE FOOTINGS, FOUNDATION AND SLAB ARE TO BE USED AS A GUIDE TO THEIR CONSTRUCTION AND ARE NOT BASED ON ACTUAL SOIL CONDITIONS AT THE CONSTRUCTION SITE.
- ALL INTERIOR AND EXTERIOR INFILL WALLS SHALL BE 2X4 STUDS @ 16" O.C. EXCEPT WHERE NOTED.
- RELOCATE EXISTING SUPPLY AND RETURN DIFFUSERS/DUCTWORK AS REQUIRED.
- ALL EXHAUST FANS, RANGE HOODS AND DRYERS SHALL VENT TO THE OUTSIDE THROUGH SHEET METAL DUCTS. CAULK AROUND ALL PENETRATIONS THROUGH EXTERIOR.
- ALL ELECTRICAL WORK SHALL BE SUPPLIED BY A COMPONENT LICENSED ELECTRICAL CONTRACTOR AND SHALL CONFORM TO THE 1999 ELECTRICAL CODE.
- ALL PLUMBING WORK SHALL CONFORM TO THE 2020 RESIDENTIAL CODE OF NYS AND ALL LOCAL LAWS. ALL PLUMBING WORK SHALL BE PROVIDED BY A LICENSED PLUMBING CONTRACTOR.
- ALL PIPE PENETRATIONS OF FLOOR AND FIRE RATED WALL ASSEMBLIES SHALL HAVE FIRE STOP SEALANT BOTH SIDES TYPICAL OF 3M CP 25N/S CAULK OR ACCEPTABLE EQUAL PER MANUFACTURER'S RECOMMENDATIONS.
- THE ARCHITECT CERTIFIES THESE DRAWINGS ARE IN COMPLIANCE WITH THE 2020 RESIDENTIAL CODE OF NYS FOR TERMITE PROTECTION (R318) BY REQUIRING PRESSURE PRESERVATIVE TREATED WOOD AS PRESCRIBED IN SECTION R317.1 AND FOR PROTECTION AGAINST DECAY (R317).
- ALL INSULATION MATERIALS SHALL BE INSTALLED IN COMPLIANCE WITH THE BUILDING CODE. VAPOR BARRIERS SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE INSULATION. NO EXPOSED VAPOR BARRIERS SHALL BE PERMITTED, RATHER VAPOR BARRIERS SHALL BE COVERED WITH CODE COMPLIANT COVERING.
- THE PROPOSED WORK HAS BEEN DESIGNED IN COMPLIANCE WITH THE 2020 NYS ENERGY CODE.

THERMAL CRITERIA

2020 ENERGY CONSERVATION CODE OF NEW YORK STATE  
CLIMATE ZONE 4  
MINIMUM R-VALUE OF WALLS - R-21  
MINIMUM R-VALUE OF CEILINGS - R-49  
MINIMUM U-VALUE OF FENESTRATIONS - U-32

CLIMATIC AND GEOGRAPHICAL CRITERIA

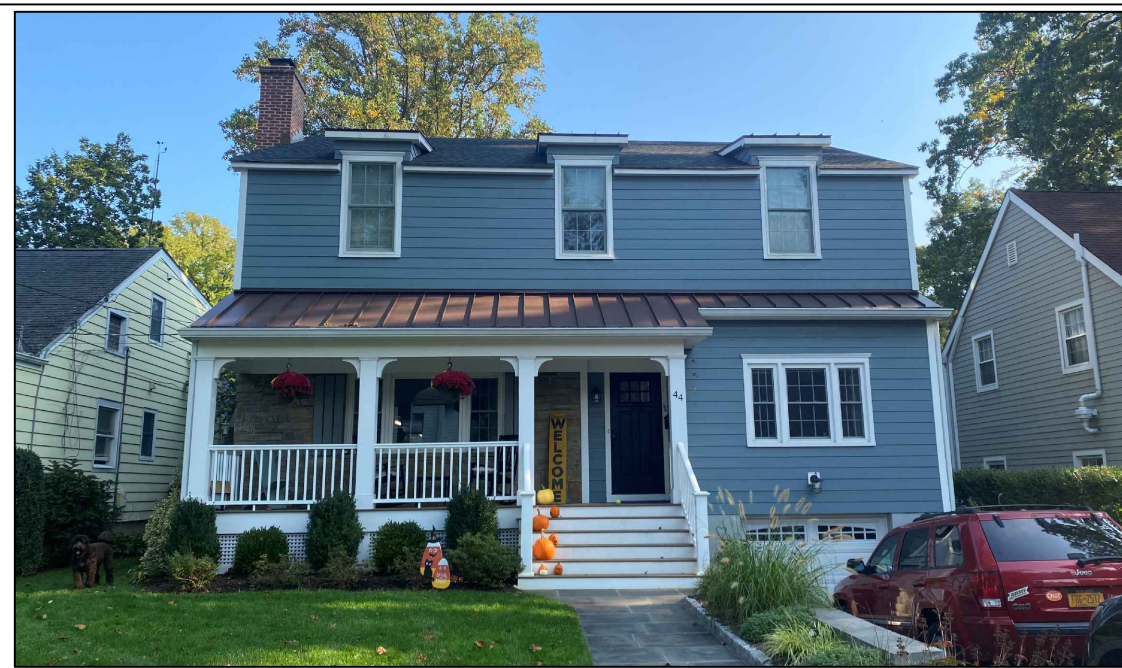
2020 RESIDENTIAL CODE OF NEW YORK STATE  
GROUND SNOW LOAD : 30 PSF  
WIND SPEED : 110 MPH  
SEISMIC DESIGN CATEGORY : C  
FROST DEPTH : 42"  
WEATHERING : SEVERE  
TERMITE : MODERATE TO HEAVY  
FLOOD HAZARD : NOT APPLICABLE  
PSF = POUNDS PER SQUARE FOOT

STRUCTURAL CRITERIA

2020 RESIDENTIAL CODE OF NEW YORK STATE  
LIVE LOAD:  
LIVING AREAS AND DECK : 40 PSF  
BEDROOMS: 30 PSF  
DEAD LOAD : 10 PSF  
GROUND SNOW LOAD: 30 PSF  
ALL STRUCTURAL LUMBER SHALL BE:  
DOUGLAS FIR #2, F<sub>b</sub>=900, E=1,400,000 (OR BETTER)  
PSF = POUNDS PER SQUARE FOOT

DRAWING INDEX

- T-1 TITLE SHEET
- A-0 TAX MAP AND NEIGHBORING PROPERTIES
- A-1 EXISTING AND PROPOSED SITE PLAN
- A-2 EXISTING PARTIAL BASEMENT AND FIRST FLOOR PLAN
- A-3 PARTIAL BASEMENT AND FIRST FLOOR DEMOLITION PLAN
- A-4 PROPOSED PARTIAL BASEMENT AND FIRST FLOOR PLAN
- A-5 PROPOSED FIRST FLOOR REFLECTED CEILING AND ELECTRICAL PLAN
- A-6 EXISTING AND PROPOSED EXTERIOR ELEVATIONS
- A-7 EXISTING AND PROPOSED EXTERIOR ELEVATIONS



1 - 44 ISELIN TERRACE FRONT



3 - 44 ISELIN TERRACE REAR



5 - 50 ISELIN TERRACE



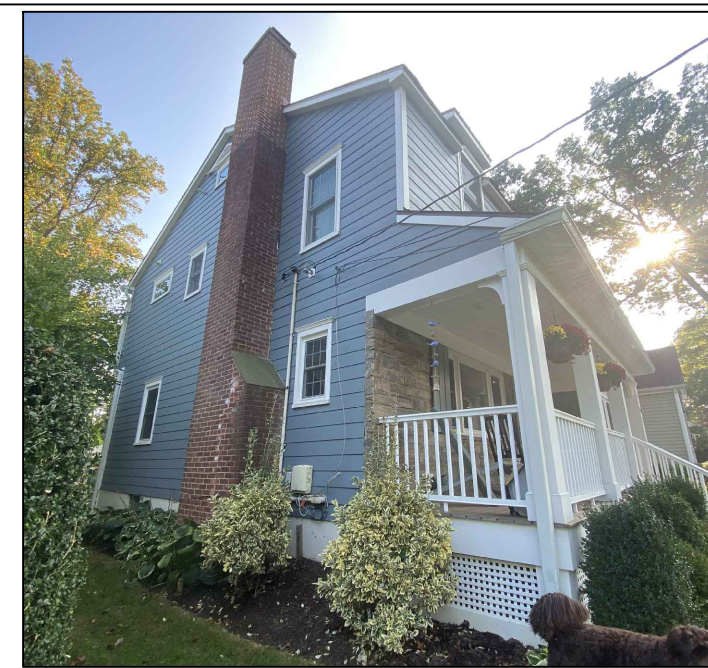
7 - 46 ISELIN TERRACE



9 - 40 ISELIN TERRACE



11 - 45 ISELIN TERRACE



2 - 44 ISELIN TERRACE LEFT



4 - 44 ISELIN TERRACE RIGHT



6 - 48 ISELIN TERRACE



8 - 42 ISELIN TERRACE



10 - 2 DAWES PLACE

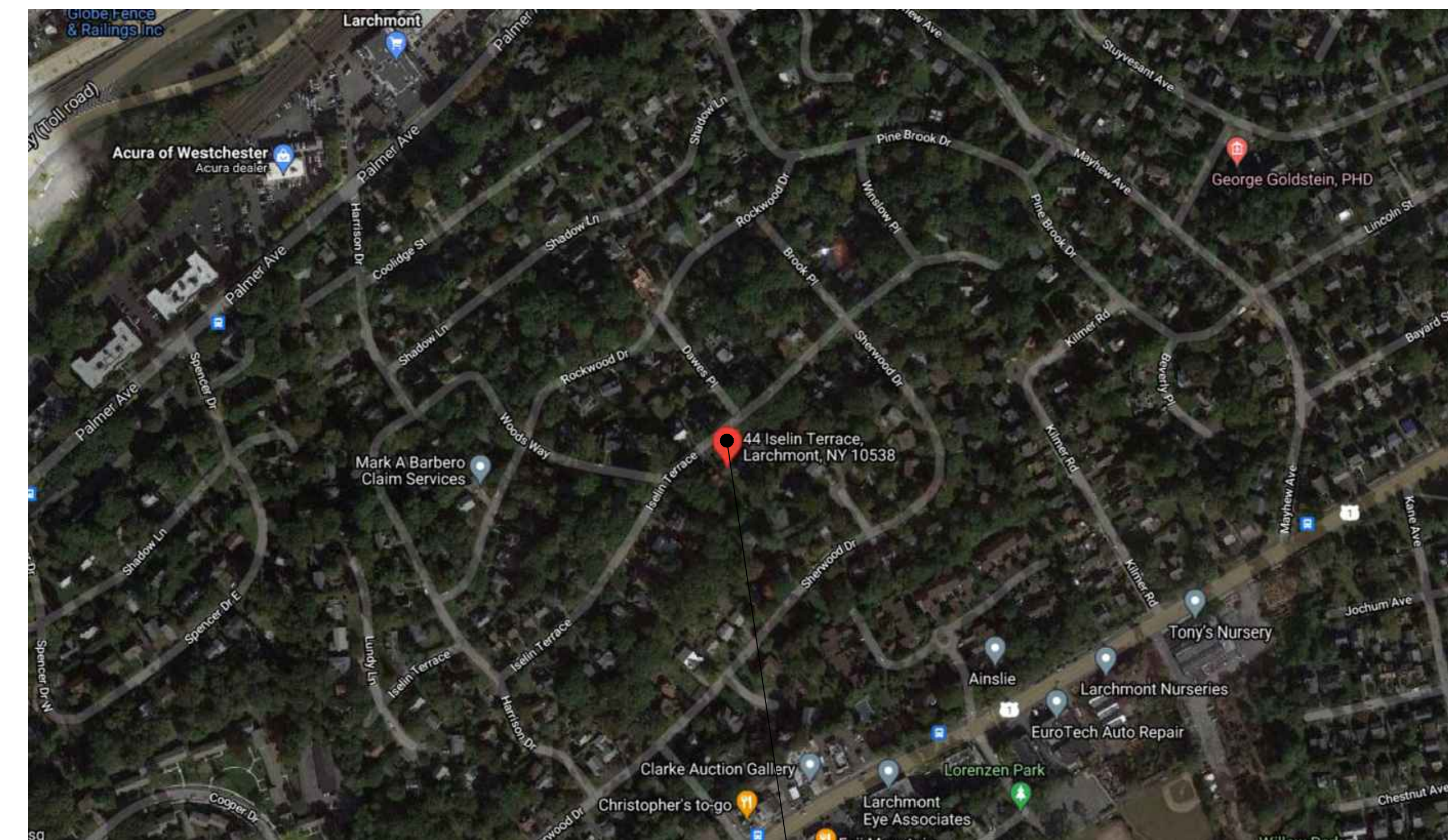


12 - 2 WOODS WAY



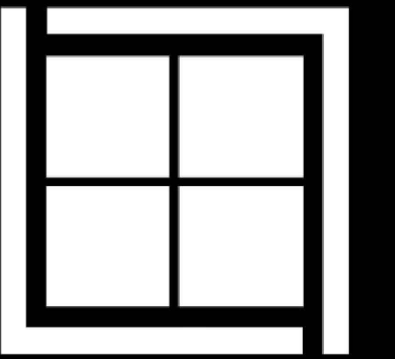
ADJACENT PROPERTIES  
N.T.S.

LOCATION AND DIRECTION OF PHOTOGRAPH



AERIAL MAP  
N.T.S.

SITE LOCATION



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### NOTES



SHEET DESCRIPTION:

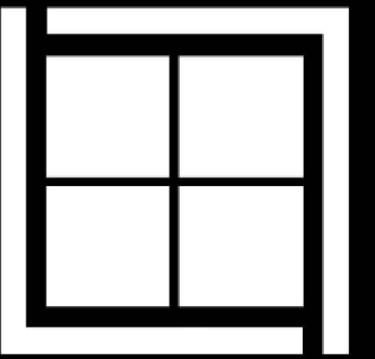
AERIAL MAP AND  
PHOTOS

SHEET No.

A-0.0

PHASE:

VILLAGE BOARDS



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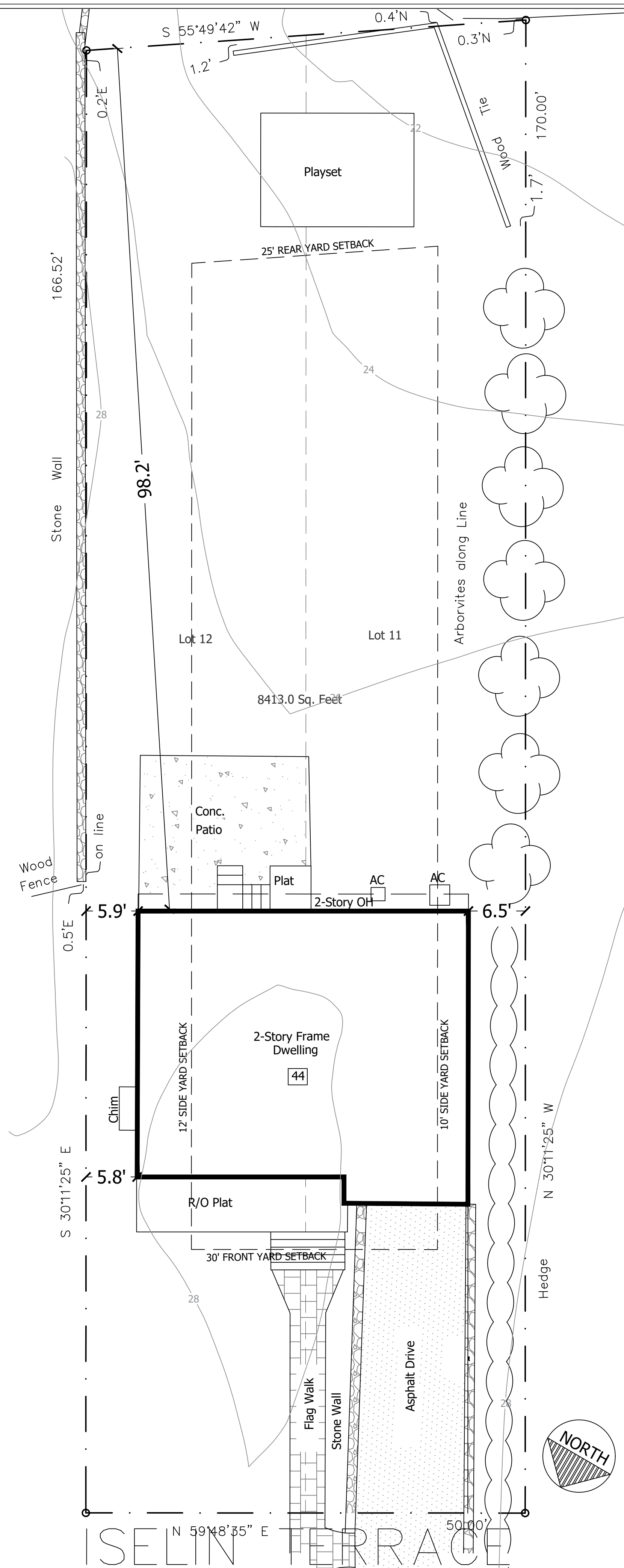
SHEET DESCRIPTION:  
**EXISTING AND PROPOSED SITE PLANS AND LANDSCAPE PLAN**

SHEET NO.

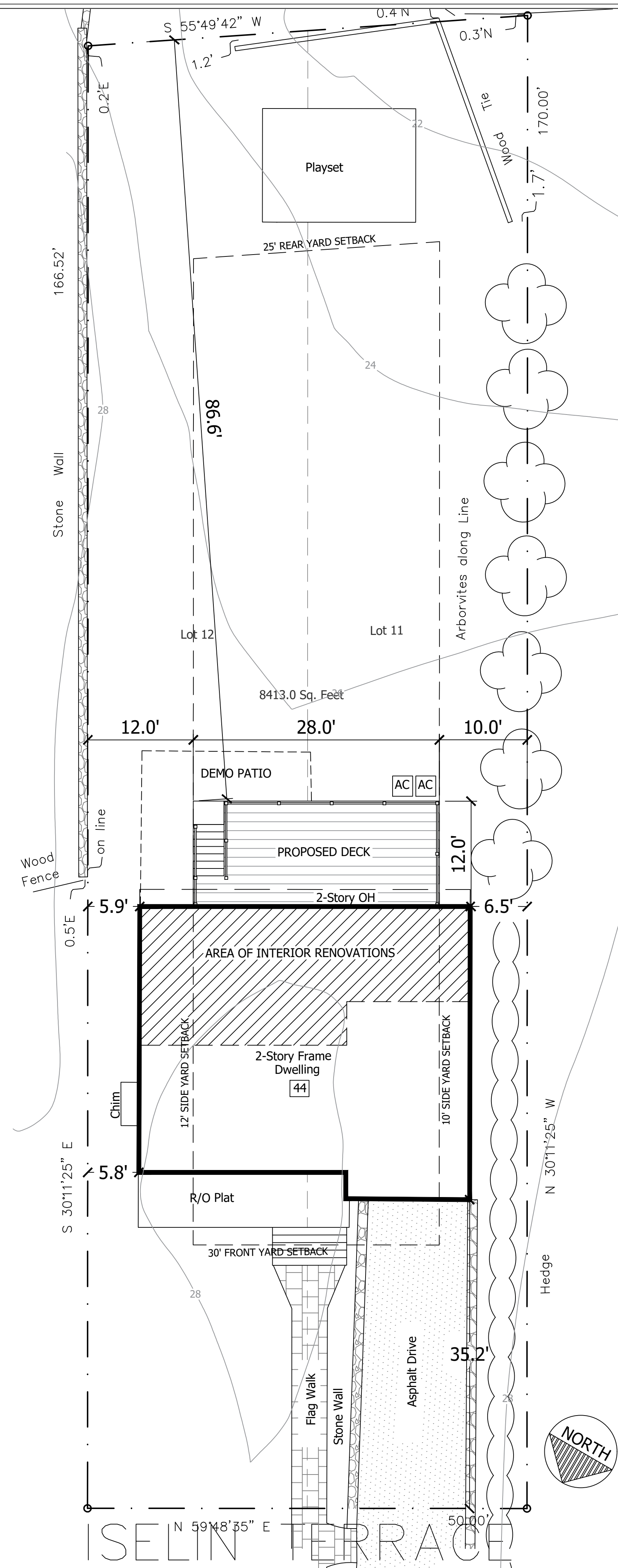
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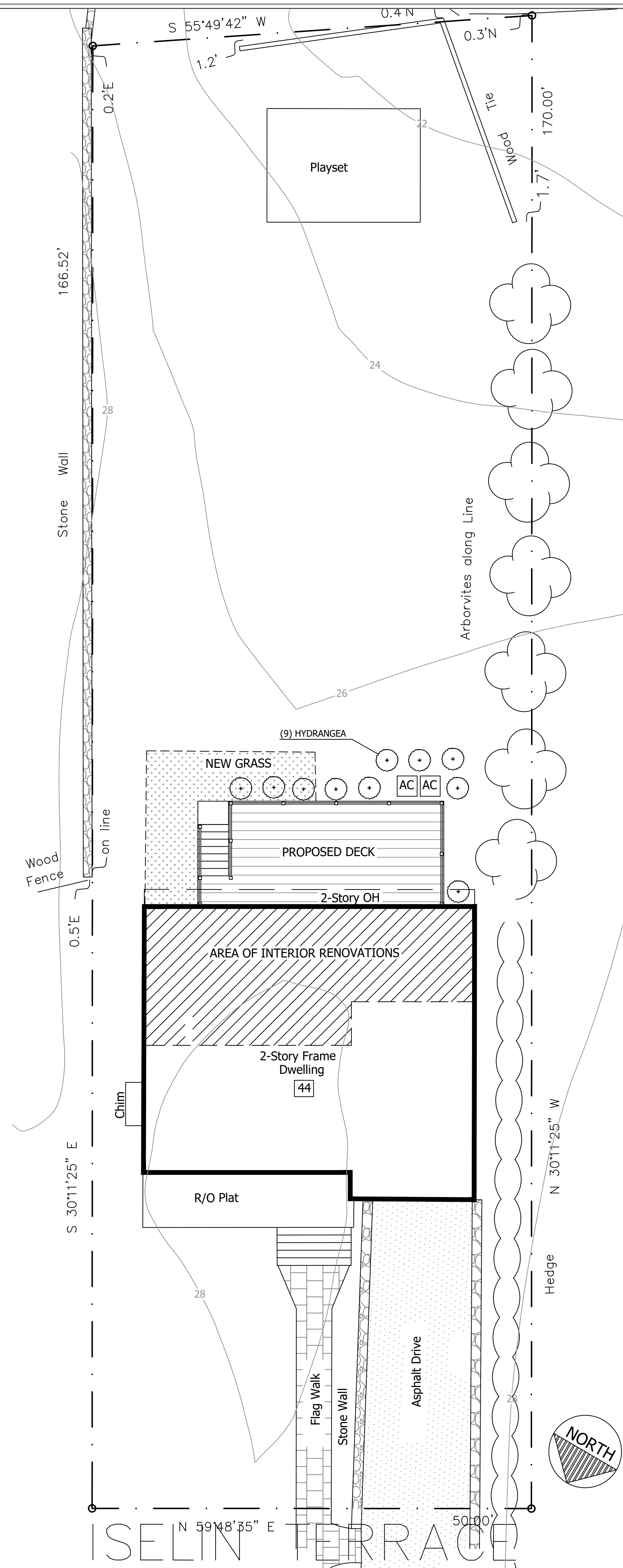
VILLAGE BOARDS



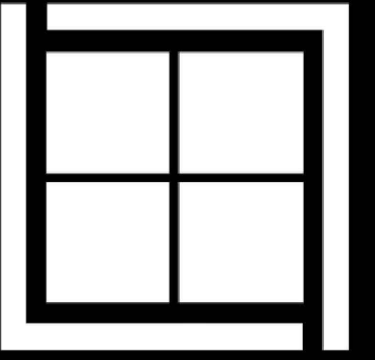
**1** EXISTING SITE PLAN  
SCALE : 1 / 8" = 1'-0"



**2** PROPOSED SITE PLAN  
SCALE : 1 / 8" = 1'-0"



**3** PROPOSED LANDSCAPE PLAN  
SCALE : 1 / 8" = 1'-0"



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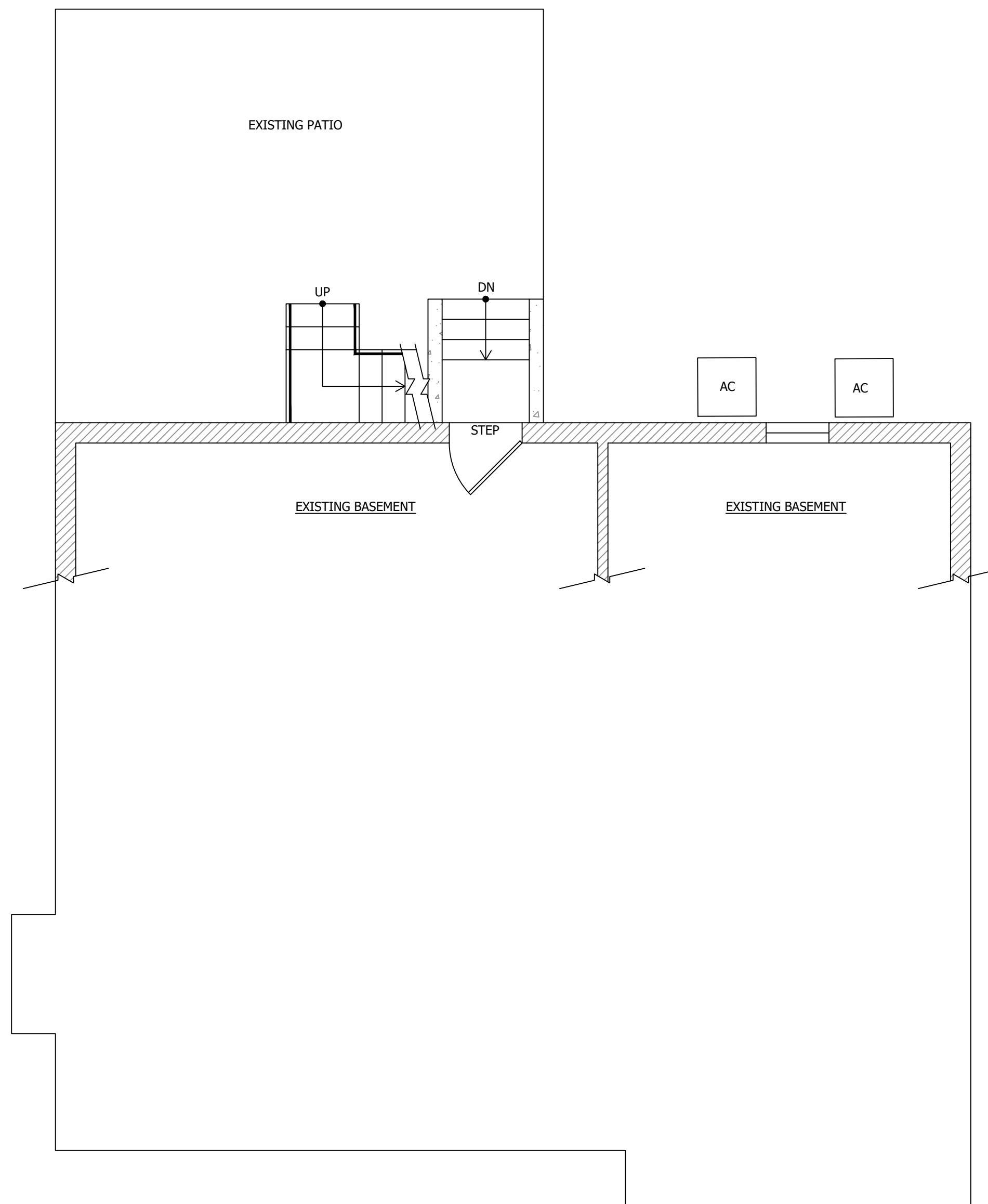
SHEET DESCRIPTION:  
**EXISTING BASEMENT  
AND FIRST FLOOR  
PLAN**

SHEET No.

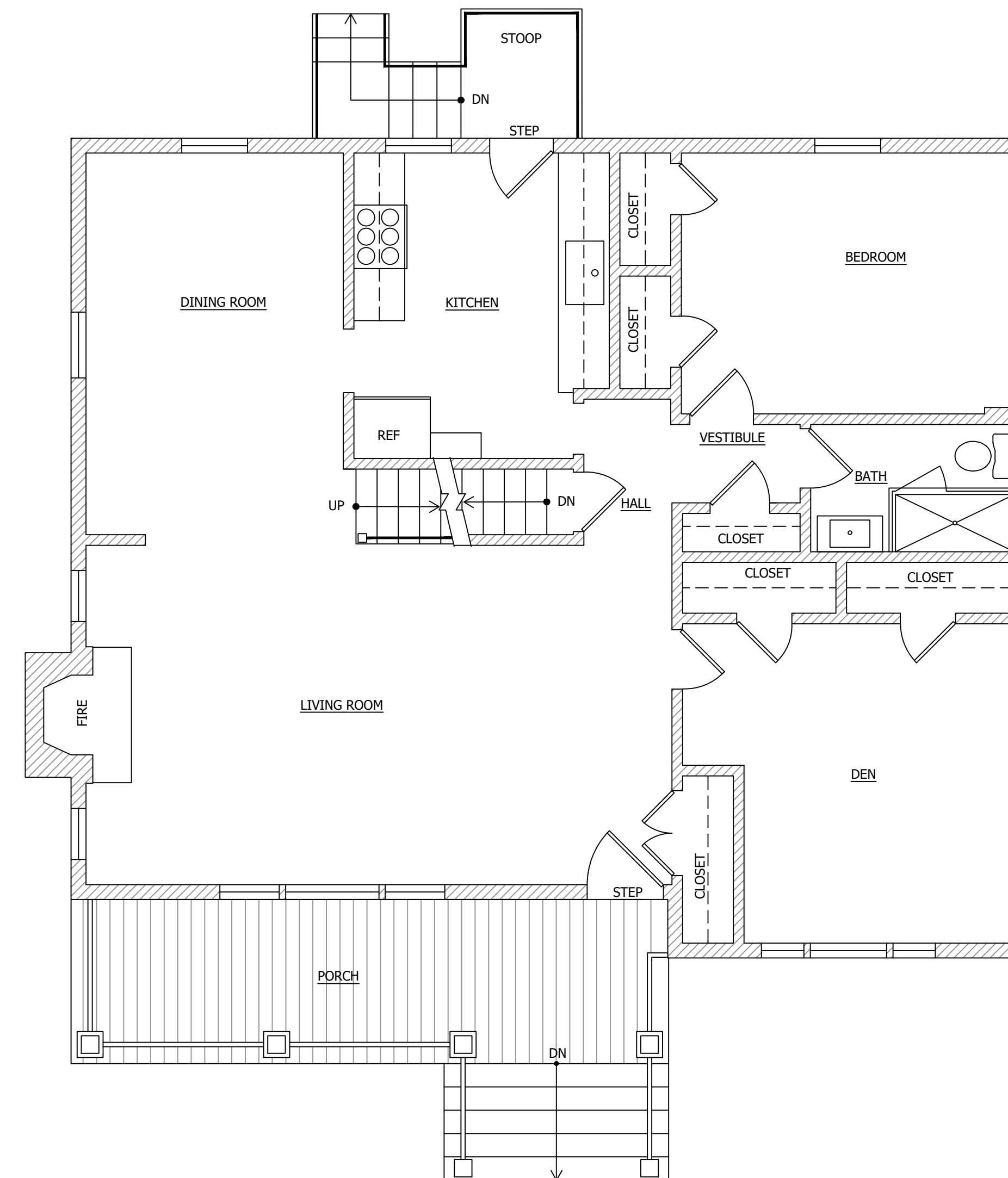
# A-2

PHASE:

VILLAGE BOARDS



**1** EXISTING PARTIAL BASEMENT FLOOR PLAN  
SCALE : 1 / 4" = 1'-0"


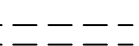
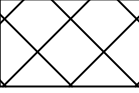




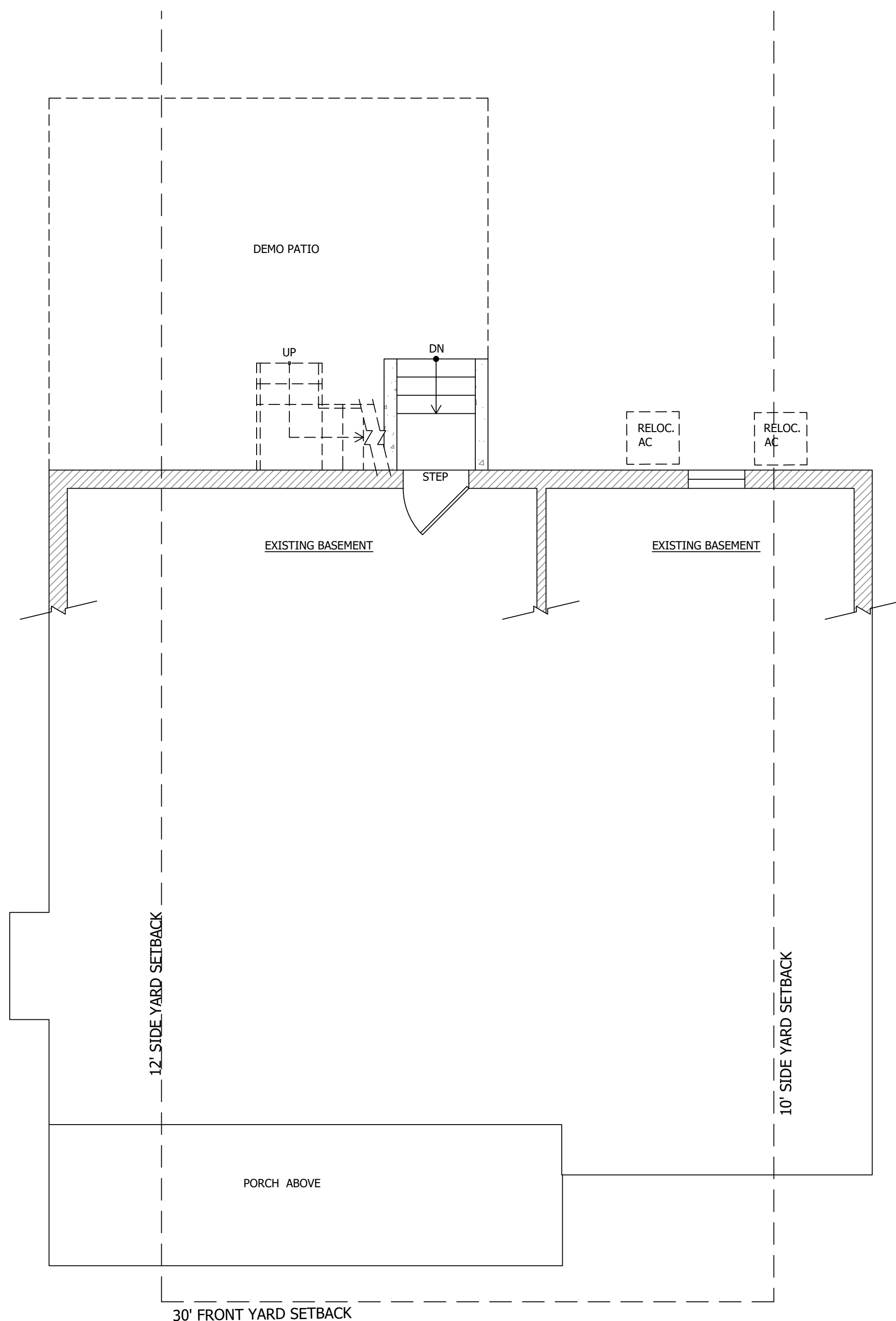
**2** EXISTING FIRST FLOOR PLAN  
SCALE : 1 / 4" = 1'-0"

DEMOLITION NOTES – TYPICAL

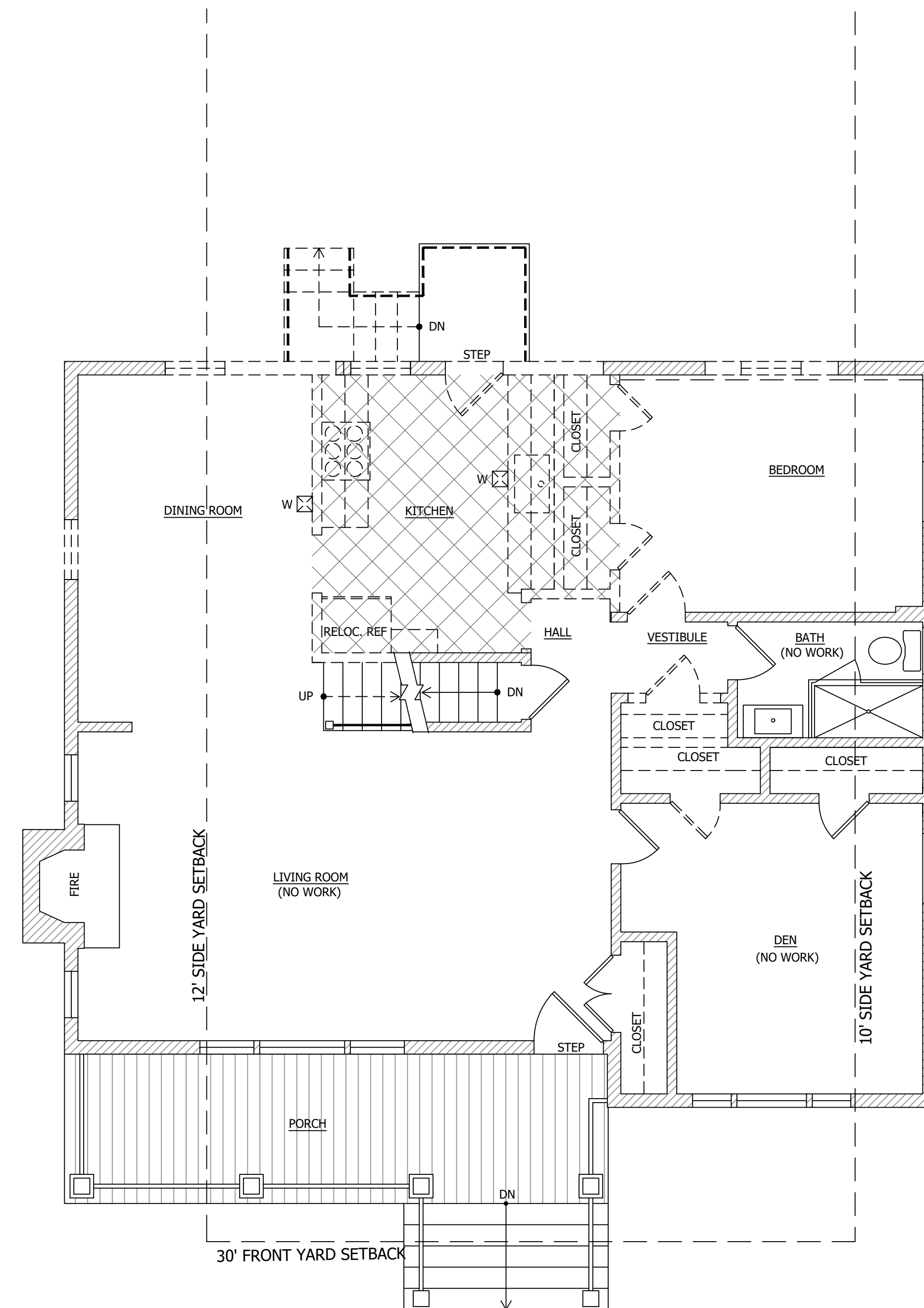
1. REMOVE EXISTING CONSTRUCTION AS REQUIRED TO BUILD PROPOSED LAYOUT.
2. RELOCATE EXISTING MECHANICAL/ELECTRICAL/PLUMBING AS REQUIRED FOR NEW LAYOUT.
3. PROVIDE DOUBLE VISQUEEN DUST BARRIER AT ALL DEMOLITION.
4. GENERAL CONTRACTOR RESPONSIBLE FOR ADHERENCE TO ALL LEAD, ASBESTOS, ETC. ABATEMENT PROCEDURES PER EPA STANDARDS.
5. PROTECT EXISTING HOUSE FROM DAMAGE DURING DEMOLITION.
6. REMOVE AND PROPERLY DISPOSE OF ALL DEMOLITION DEBRIS FROM THE CONSTRUCTION SITE.

DEMOLITION LEGEND

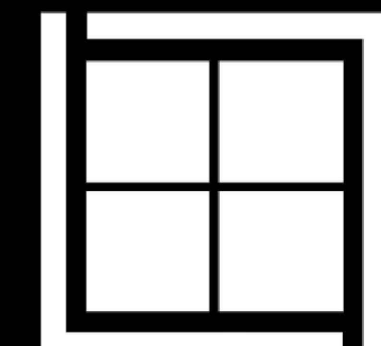
-  EXISTING PARTITION TO REMAIN
-  EXISTING CONSTRUCTION TO BE REMOVED
-  GUT DEMOLITION OF ENTIRE AREA DOWN TO EXISTING FLOOR AND WALL/CEILING FRAMING. PATCH SUBFLOOR AS REQUIRED
-  INDICATES THE COMPLETE REMOVAL OF THE EXISTING WOOD FLOORING. SALVAGE WOOD FOR FLOORING INFILL.
-  EXISTING DOOR TO BE REMOVED.



**1** PARTIAL BASEMENT DEMOLITION PLAN  
SCALE : 1 / 4" = 1'-0"



**2** FIRST FLOOR DEMOLITON PLAN  
SCALE : 1 / 4" = 1'-0"



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ISSUED / REVISIONS

DESCRIPTION	DATE
PLANNING CONSULTANT SUBMITTAL	12/20/2021
ARB SUBMITTAL	03/17/2022
ARB MEETING	03/30/2022

ZIMMERMAN  
RESIDENCE

44 Iselin Terrace,  
Larchmont  
New York 10538

NOTES



SHEET DESCRIPTION:  
**BASEMENT AND FIRST  
FLOOR DEMOLITION  
PLAN**

SHEET No.

**A-3**

PHASE:

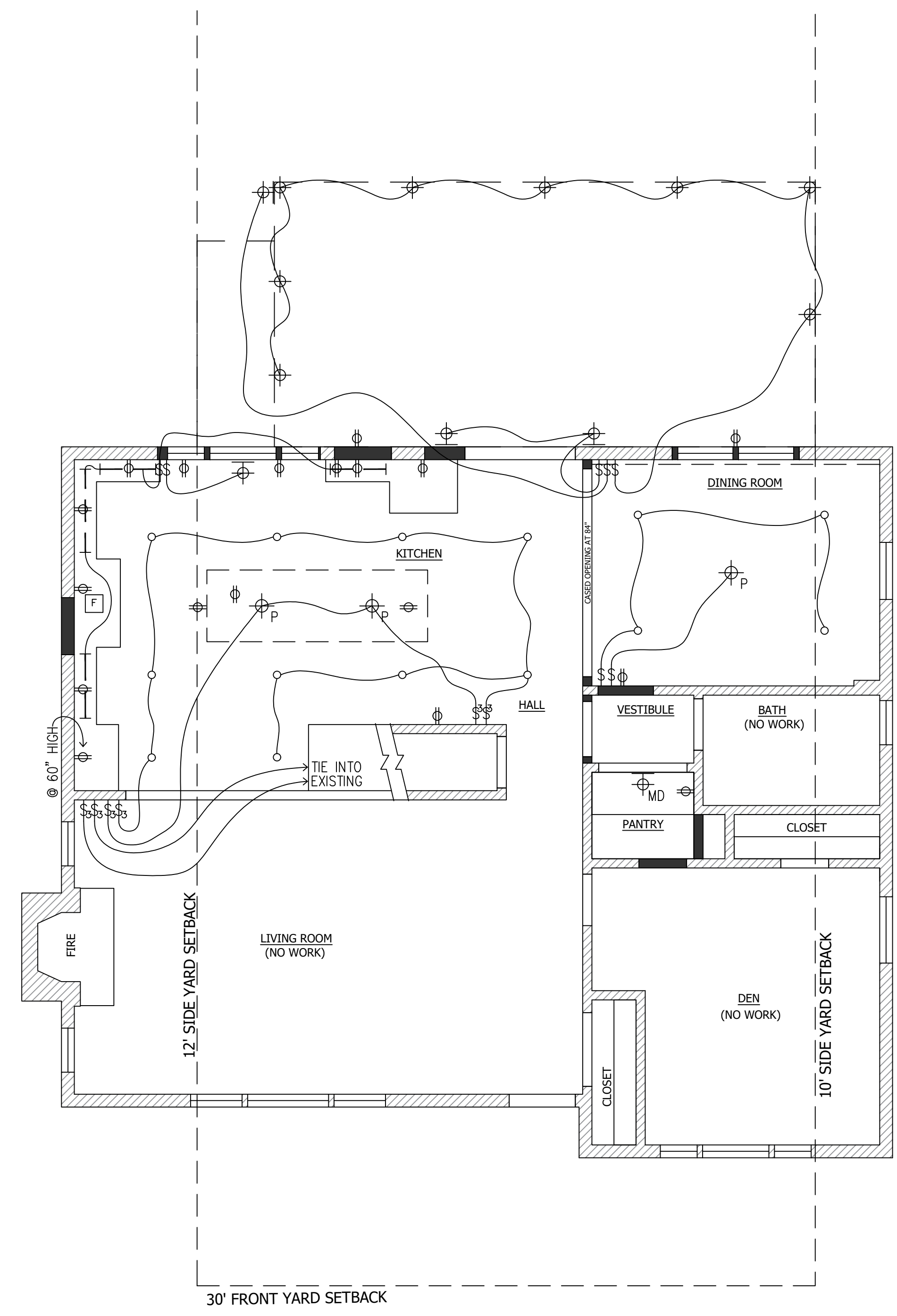
VILLAGE BOARDS



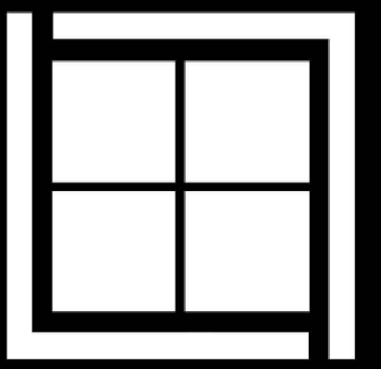


ELECTRICAL LEGEND		GENERAL LIGHTING / ELECTRICAL NOTES	
⊕ P	CEILING MOUNTED PENDANT FIXTURE * VERIFY LOCATION WITH OWNER	⊕	DECORA LIGHT SWITCH
⊕ F	CEILING MOUNTED FAN OR FAN/LIGHT * VERIFY LOCATION WITH OWNER	⊕ 3-WAY	DECORA LIGHT SWITCH, 3-WAY
⊕	CEILING MOUNTED LIGHT *	⊕ 4-WAY	DECORA LIGHT SWITCH, 4-WAY
⊕ E	EXISTING FIXTURE - REPLACE TRIM KIT	⊕ EXG	EXISTING LIGHT SWITCH
⊕ EXG	EXISTING LIGHT FIXTURE TO BE REUSED	⊕ DB	DOORBELL
⊕	WALL SCONCE *	⊕ DR	DECORA DUPLEX OUTLET
○	4" RECESSED LED DOWNLIGHT	⊕ FLOOR	FLOOR OUTLET
TV	CATV OUTLET	⊕ EXH	EXHAUST FAN-VENT TO OUTSIDE
E	NEW 200 AMP ELECTRICAL PANEL	⊕ S	SMOKE DETECTOR
⊕	PHONE JACK	⊕ C	CARBON MONOXIDE DETECTOR
⊕ S	4" SLOPED RECESSED LED DOWNLIGHT	⊕ U	UNDERCABINET LED LIGHTING
⊕ 2"	LED CABINET LIGHT	⊕ M	MOTION LED LIGHT
D	DOORBELL	⊕ S	THIN SURFACE MOUNT LED LIGHT
T	THERMOSTAT FOR ELECTRIC HEATED FLOOR	W	WALL SUPPLY DIFFUSER
		T	TOE KICK DIFFUSER
		⊕ MD	MOTION ACTIVATED FIXTURE

- CENTER LIGHTS AND FAN/LIGHT J-BOXES IN ROOMS.
- CENTER OUTLETS ON WALLS OR UNDER WINDOWS.
- PROVIDE INDEPENDENT CIRCUITS (OR SUB-PANEL) AS REQUIRED BY CODE.
- SPACE DOWNLIGHTS EQUALLY ALONG LINE OF DOWNLIGHTS.
- HARD WIRE, BATTERY BACKUP AND INTERCONNECTED SMOKE + CARBON MONOXIDE DETECTORS.
- PROVIDE SMOKE AND CARBON MONOXIDE DETECTORS ON EACH FLOOR.
- PROVIDE SMOKE DETECTORS IN ALL BEDROOMS.
- PROVIDE NEW GFCI OUTLETS AT ALL WET LOCATIONS.
- OWNER TO PROVIDE ALL SURFACE AND PENDANT MOUNTED FIXTURES (SEE \* ABOVE) AND TO BE INSTALLED BY THE CONTRACTOR.
- PROVIDE SAMPLE OF DIMMER AND DOWNLIGHT TO OWNER PRIOR TO INSTALLATION.
- SEE FLOOR PLANS FOR KITCHEN APPLIANCE LOCATIONS.
- PROVIDE WEATHERPROOF GFI OUTLETS AT ALL EXTERIOR LOCATIONS.
- ALL OUTLETS, SWITCHES, ETC TO BE DECORA STYLE.
- FIRE CAULK ALL FLOOR PENETRATIONS.
- PROVIDE 5 DIMMERS PER OWNER'S DISCRETION.
- ALL FIXTURES INDICATED WITH \* ARE OWNER PROVIDED/CONTRACTOR INSTALLED.



**1** PROPOSED FIRST FLOOR AND ELECTRICAL AND RCP PLAN  
SCALE : 1 / 4" = 1'-0"



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ARB MEETING	03/30/2022

## ZIMMERMAN RESIDENCE

44 Iselin Terrace,  
Larchmont  
New York 10538

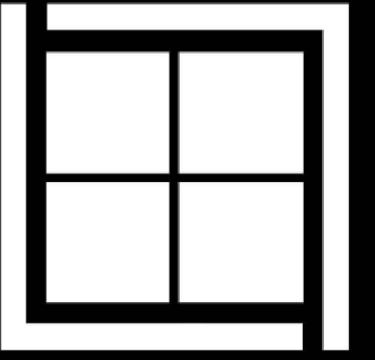
### NOTES



SHEET DESCRIPTION:  
**PROPOSED FIRST  
FLOOR PLAN AND  
ELECTRICAL PLAN**

SHEET No.  
**A-5**

PHASE:  
**VILLAGE BOARDS**



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## ZIMMERMAN RESIDENCE

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New York 10538

### NOTES



SHEET DESCRIPTION:  
**EXISTING AND  
PROPOSED  
ELEVATIONS**

SHEET NO.  
**A-6**

PHASE:  
**VILLAGE BOARDS**



**1** EXISTING LEFT SIDE ELEVATION  
SCALE : 1 / 4" = 1'-0"



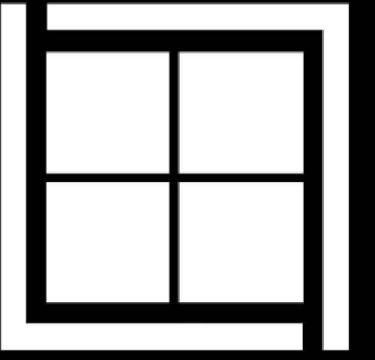
**2** EXISTING REAR ELEVATION  
SCALE : 1 / 4" = 1'-0"



**3** PROPOSED LEFT SIDE ELEVATION  
SCALE : 1 / 4" = 1'-0"



**4** PROPOSED REAR ELEVATION  
SCALE : 1 / 4" = 1'-0"



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1 EXISTING RIGHT SIDE ELEVATION  
SCALE : 1 / 4" = 1'-0"



2 PROPOSED RIGHT SIDE ELEVATION  
SCALE : 1 / 4" = 1'-0"

## ZIMMERMAN RESIDENCE

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New York 10538

### NOTES



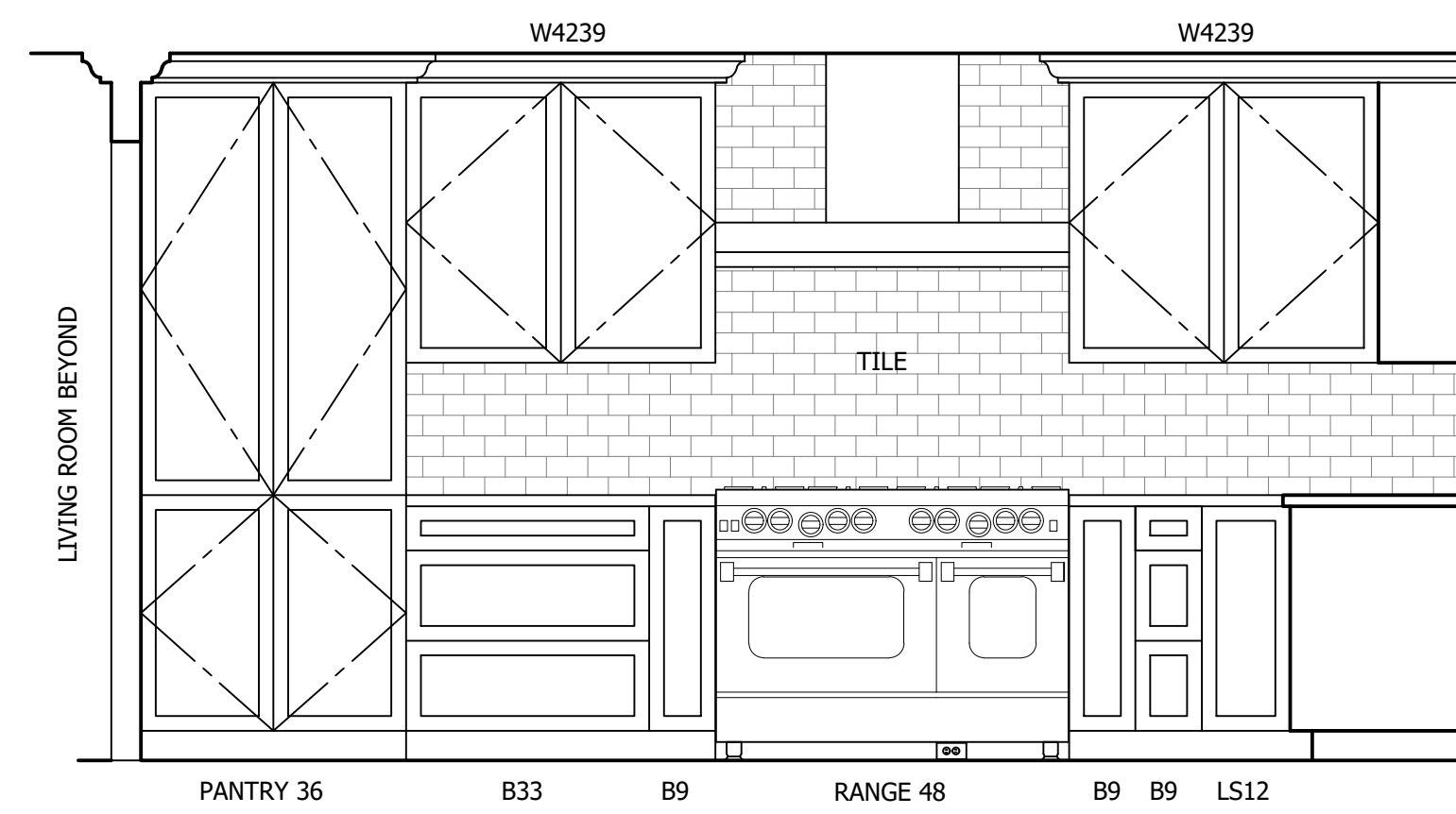
SHEET DESCRIPTION:  
**EXISTING AND  
PROPOSED EXTERIOR  
ELEVATIONS**

SHEET No.

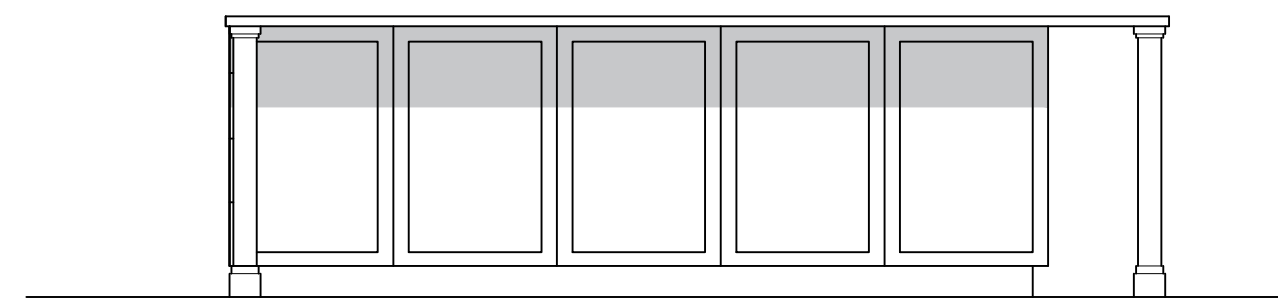
# A-7

PHASE:

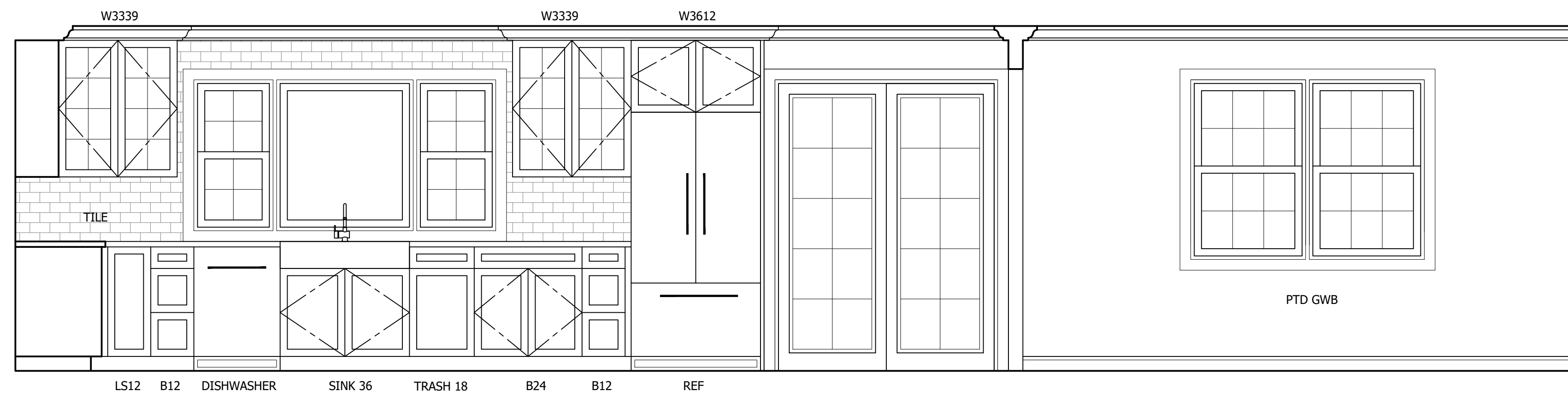
VILLAGE BOARDS



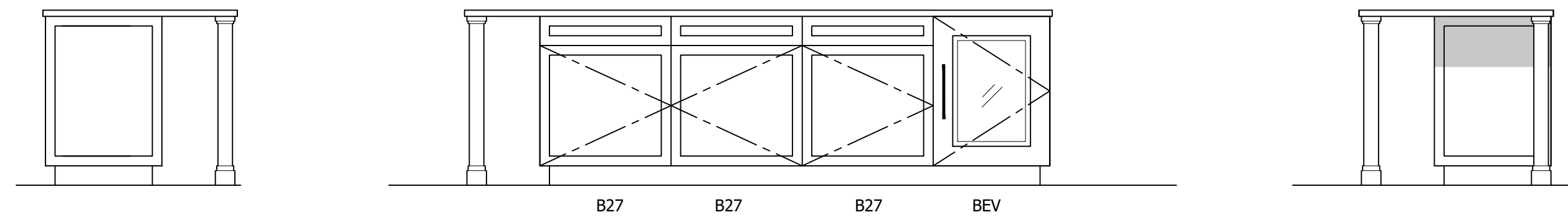
1 KITCHEN ELEVATION AT RANGE  
SCALE : 1 / 2" = 1'-0"



3 ISLAND ELEVATIONS  
SCALE : 1 / 2" = 1'-0"



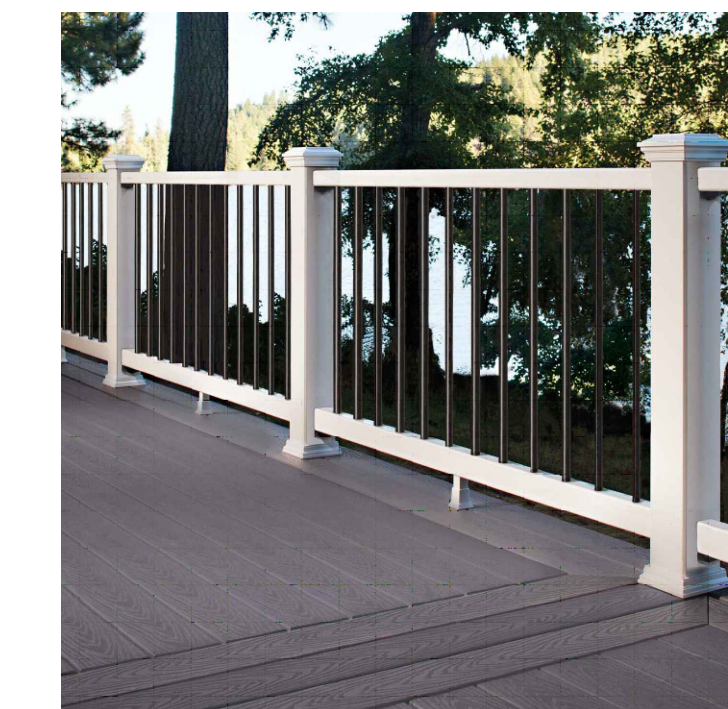
2 KITCHEN ELEVATION AT SINK  
SCALE : 1 / 2" = 1'-0"



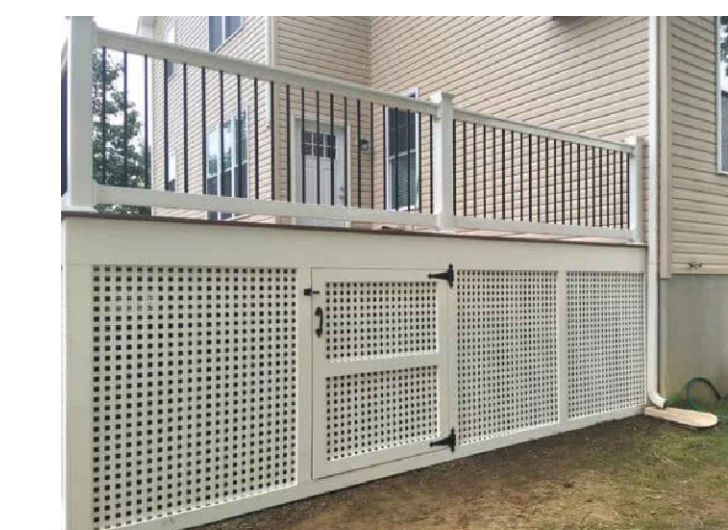
ROOM FINISH SCHEDULE										WINDOW SCHEDULE #					
ROOM NAME	FLOOR		WALL		CEILING		MOULDING			REMARKS	TAG	NUMBER	ROUGH OPENING (W/F)	GRILL PATTERN	COMMENTS
	MATL	FIN.	MATL	FIN.	MATL	FIN.	BASE	WALL	CROWN						
FIRST FLOOR															
DINING ROOM	EXG	ST/POLY	EXG/GWB	PTD	EXG/GWB	PTD	M-1	-	M-2		1	CN135	1'-9" X 3'-5 3/8"	8 LITE	CASEMENT, R
KITCHEN	WD/EXG	ST/POLY	EXG/GWB	PTD	EXG/GWB	PTD	M-1	-	M-2		2	P3035	3'-0 1/2" X 3'-5 3/8"		FIXED
BATH	EXG	EXG	EXG/GWB	EXG/PTD	EXG	EXG	-	-	-	NO CHANGE	3	CN135	1'-9" X 3'-5 3/8"	8 LITE	CASEMENT, L
DEN	EXG	EXG	EXG	EXG	EXG	EXG	-	-	-	PAINT AT NEW WALLS	4	WDH24310	2'-6 1/8" X 4'-0 7/8"	6/6 LITE	
VESTIBULE	EXG	EXG	EXG	EXG	EXG	EXG	-	-	-	PAINT AT NEW WALLS	5	WDH24310	2'-6 1/8" X 4'-0 7/8"	6/6 LITE	
HALL	WD/EXG	EXG	EXG	PTD	EXG	EXG	M-1	-	M-2		WINDOW NOTES: 1. ALL WINDOWS TO BE ANDERSON 400 SERIES VINYL CLAD/WOOD WINDOWS, LOW E GLASS WITH TRUSCENE SCREENS, UNLESS NOTED OTHERWISE. 2. GRILLES SHALL BE PERMANENT EXTERIOR/INTERIOR WITH SPACER BAR. 3. ALL WINDOWS TO BE BLACK EXTERIOR & BLACK INTERIOR. 4. INSTALL WINDOWS PER MANUFACTURERS SPECIFICATIONS. 5. CENTER WINDOWS IN ROOMS. 6. PROVIDE EXTENSION JAMBS AS REQUIRED BY WALL THICKNESS. 7. PROVIDE SAFETY GLASS AT ALL GLASS BELOW 18" AND OVER TUBS. 8. PROVIDE CONTEMPORARY FOLDING HARDWARE.				
LIVING ROOM	EXG	EXG	EXG	EXG	EXG	EXG	-	-	-	NO CHANGE	DOOR SCHEDULE A				
ROOM FINISH LEGEND:										DOOR SCHEDULE A					
BB	5 1/4" V-GROOVE BEAD BOARD									TAG					
CONC	CONCRETE									MANUFACTURER					
CT	CERAMIC WALL TILE									UNIT SIZE					
CPT	CARPET									NUMBER					
EXG	EXISTING MATERIAL									STYLE					
EXP	EXPOSED JOISTS									MATERIAL					
GWB	GYPSUM WALL BOARD									FINISH					
M-1	BASE MOULDING - 4" (MATCH EXISTING)									COMMENTS					
M-2	CROWN MOULDING - 3" MIN. (PROVIDE 3 OPTIONS FOR OWNER)									A					
M-3	CROWN MOULDING - NOT USED									JELDWEN					
M-4	BASE MOULDING - PTD 7 1/2" WOOD BASE TO MATCH EXISTING									(2) 2'-6" X 6'-8"					
MAR	MARBLE									ANDERSEN					
PTD	PAINTED (PRIMER PLUS TWO COATS OF PAINT)									(2) 2'-0" X 6'-8"					
PT	PORCELAIN TILE									DOOR NOTES:					
REF	SAND, STAIN AND SEAL WITH TWO COATS OF OIL BASED POLYURETHANE									1. INSTALL DOORS PER MANUFACTURERS SPECIFICATIONS.					
SEAL	SEAL STONE AS REQUIRED BY MANUFACTURER									2. GC TO CARRY A \$400 ALLOWANCE (DIRECT COST OF HARDWARE WITHOUT MARK-UP) FOR DOOR HARDWARE.					
ST/POLY	SAND, STAIN AND SEAL WITH TWO COATS OF OIL BASED POLYURETHANE									3. INTERIOR DOORS SHALL BE SOLID CORE COMPOSITE DOORS 1-3/8" THICK					
WD	4" X 3/4" WHITE OAK FLOORING (SUPER SELECT)- SAND, BLEACH, STAIN AND SEAL WITH TWO COATS OF OIL BASED POLYURETHANE. (GLUED AND NAILED)									HVAC NOTES:					
										1. RELOCATE 2" AC SUPPORT DIFFUSERS AS REQUIRED FOR NEW LAYOUT.					
										2. REPLACE (3) THERMOSTATS WITH "NEST" THERMOSTATS.					



3 POST CAP LIGHTS  
NTS



4 BLACK PICKETS  
NTS



6 SQUARE LATTICE UNDER DECK  
NTS

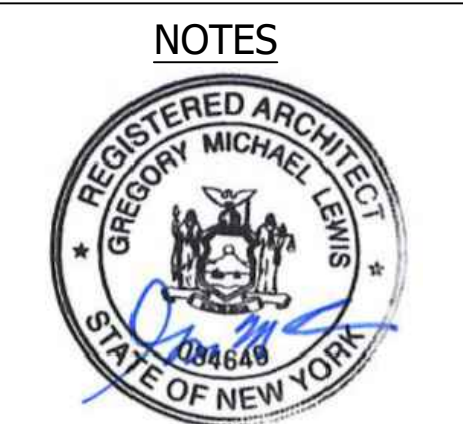
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New York 10538



## INTERIOR ELEVATIONS AND SCHEDULES

SHEET NO.  
**A-8**

PHASE:  
VILLAGE BOARDS