



Village of Larchmont villageoflarchmont.org
 Building Department Architectural Review Board Application
 120 Larchmont Avenue, Larchmont, New York 10538 Phone (914) 834-4349
ARCHITECTURAL REVIEW BOARD
APPLICATION

TO BE COMPLETED BY APPLICANT

Application date: February 10, 2022		Application Fee: \$150.00
<i>Please fill in dates or N/A (Not Applicable)</i> <i>Note: Dates must be on plans submitted</i> Board Approval Date: <input type="checkbox"/> Zoning Not required	<i>Please fill in dates or N/A (Not Applicable)</i> <i>Note: Dates must be on plans submitted</i> Board Approval DATE: <input type="checkbox"/> Planning Not required	<i>Please fill in dates or N/A (Not Applicable)</i> <i>Note: Dates must be on plans submitted</i> ARB: 2/23/22

SITE IDENTIFICATION INFORMATION

Project Address:
No. 50 Street Flint Avenue

Village of Larchmont Tax Map Designation:
Section 7 Block 6 Lot(s) 265

Business Name:
Richard and Ann Lefever, Owners

Description of Project:
1 NEW WINDOW AT MASTER BATH

APPLICANT/OWNER INFORMATION

Contractor (Signage Company): TBD	Phone #: Fax#:	Email:
Owners Address: No. 50 Street: Flint Avenue Town: Larchmont State: NY Zip: 10538		
Applicant (If different than owner): Gregory Lewis, Lewis + Lewis Architects	Phone #: (914) 315-6323 Fax#:	Email: gregorym.lewis@hotmail.com
Applicant Address (If different than owner): No. 753 Street: Forest Avenue Town: Larchmont State: NY Zip: 10538		
Representatives & Title: Architect	Phone #: (914) 315-6323 Fax#:	Email: gregorym.lewis@hotmail.com
Address: No. 753 Street: Forest Avenue Town: Larchmont State: NY Zip: 10538		

AFFIDAVIT OF OWNERSHIP

State of New York
County of Westchester

I, Gregory Lewis being duly sworn;
PRINT NAME

Deposes and states; that _____ is the Owner in fee of the premises to which this Application applies; that the Applicant is duly authorized to make this Application; and that the statements made here are true to the best of the Applicant's knowledge and belief, and that the work will be performed in the manner set forth in the Application filled therewith, and in accordance with all applicable laws, ordinances and regulations.

Signature: [Signature]

Sworn to before me this 16th day of Febr 2021

DONALD GOLDSMITH
Notary Public, State of New York
No. 01GO5021034
Qualified in Westchester County
Commission Expires Dec. 6, 2021

NOTARY SEAL
[Signature]
NOTARY



50 Flint Avenue, Larchmont, NY

ARCHITECTURAL REVIEW BOARD SUBMISSION REQUIREMENTS

The following are minimum presentation requirements.
Additional supporting items may be requested by the reviewing Board.

Incomplete application packages may not be accepted / reviewed

Application

- X** Application Form must be 100% complete – No Blank Spaces Please.
- X** Six (6) Packets – Each to include

Survey

- X** Official stamped survey, (not older than 3 years)
- X** Survey must show existing structures, setbacks, and property lines

Site Plan

- X** Show area of new work
- X** Proposed landscaping
- X** Site changes
- X** Setbacks and projections
- X** Adjacent structures

Photographs

- X** Photos of existing building elevations and any other relevant data such as neighboring architecture, or precedents supporting design

Existing Plans and Elevations

- X** Not less than 1/8" scale
- X** Complete building must be included

Proposed Plans and Elevations

- X** Not less than 1/4" scale
- X** Complete building must be included, no partial elevations, all sides must be included
- X** Areas of new construction should be clearly identified from the existing structure
- X** Dimensions must include and identify major walls and features
- X** Elevations should identify significant materials, floor-to-floor and roof heights

Details

- X** Applicable section and plan details
- X** Show material profiles and transitions of key elements such as foundations, windows, doors, eaves, and decorative features

Material Samples

- X** Applicants are encouraged to bring to the public meeting applicable material samples

These are minimum presentation requirements; the Board reserves the right to request additional material on a case-by-case basis.



ARCHITECTURAL REVIEW BOARD APPLICATION GUIDELINES

STEPS TO OBTAIN ARB APPROVAL:

1. Submit a complete Architectural Review Board (ARB)
2. Submit all relevant application fee
3. Attend an ARB public hearing with all required submission materials (see page 2). **Both applicant and owner need to be present at ARB hearing.**

ARB REVIEW:

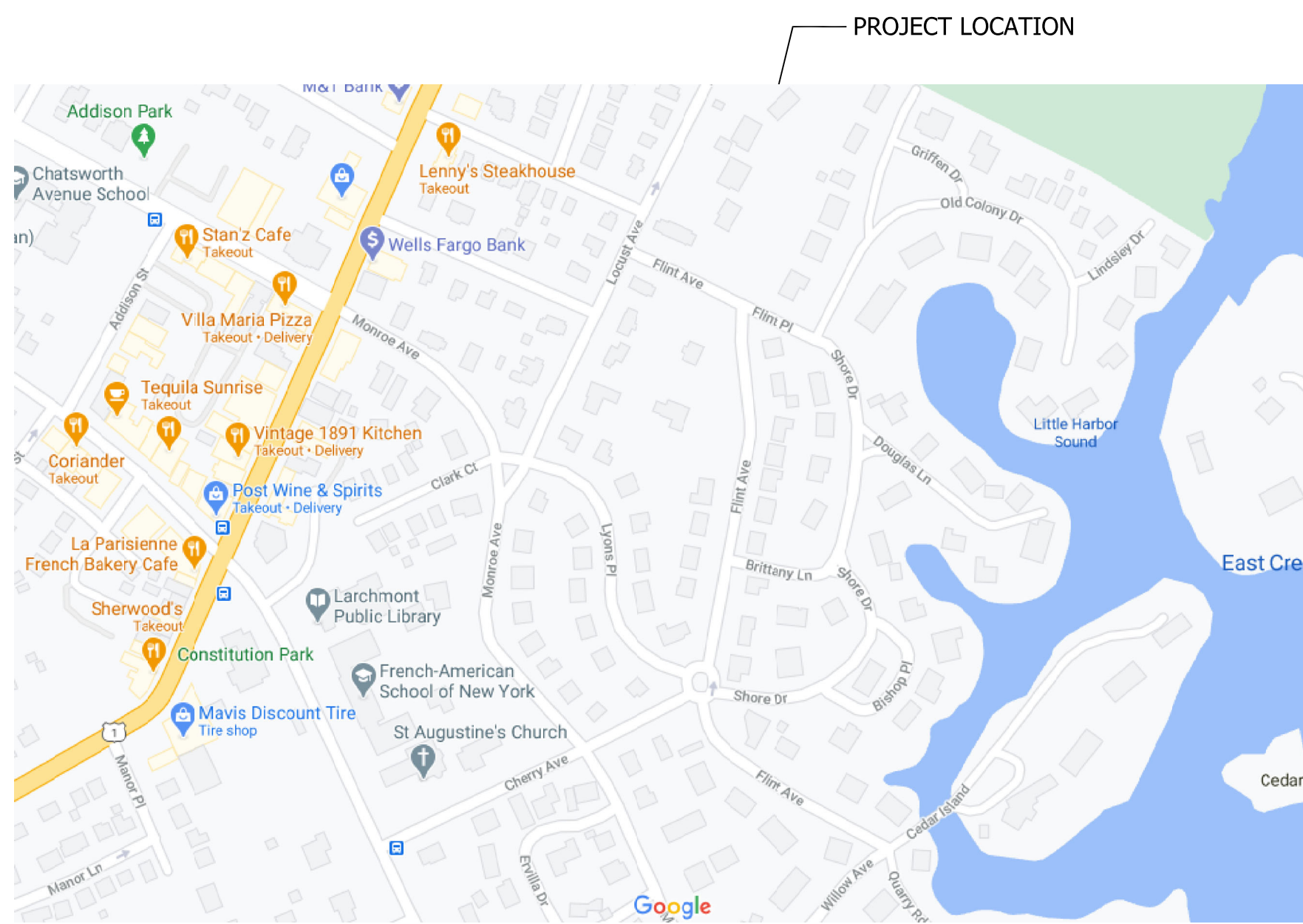
- Applicants must complete the **ARB Application** – (see Page 1)
- As per the **Submission Requirements** – (see Page 2) each application must include: application form, scaled drawings, photographs, material samples, etc.
- Application Fee – check the [Building Department Schedule of Fees](#) for current charges
- Submit six (6) packets for review – (see Page 2)
- Applications will be reviewed and require ARB approval before a permit will be issued
- Please check the [Village calendar](#) for submission deadlines and public hearing dates
- Applications may require Planning and/or Zoning Board approval

All applications must be delivered in person to the Building Department

In order to ensure the most expedient review of your application, please meet all **Submission requirements**

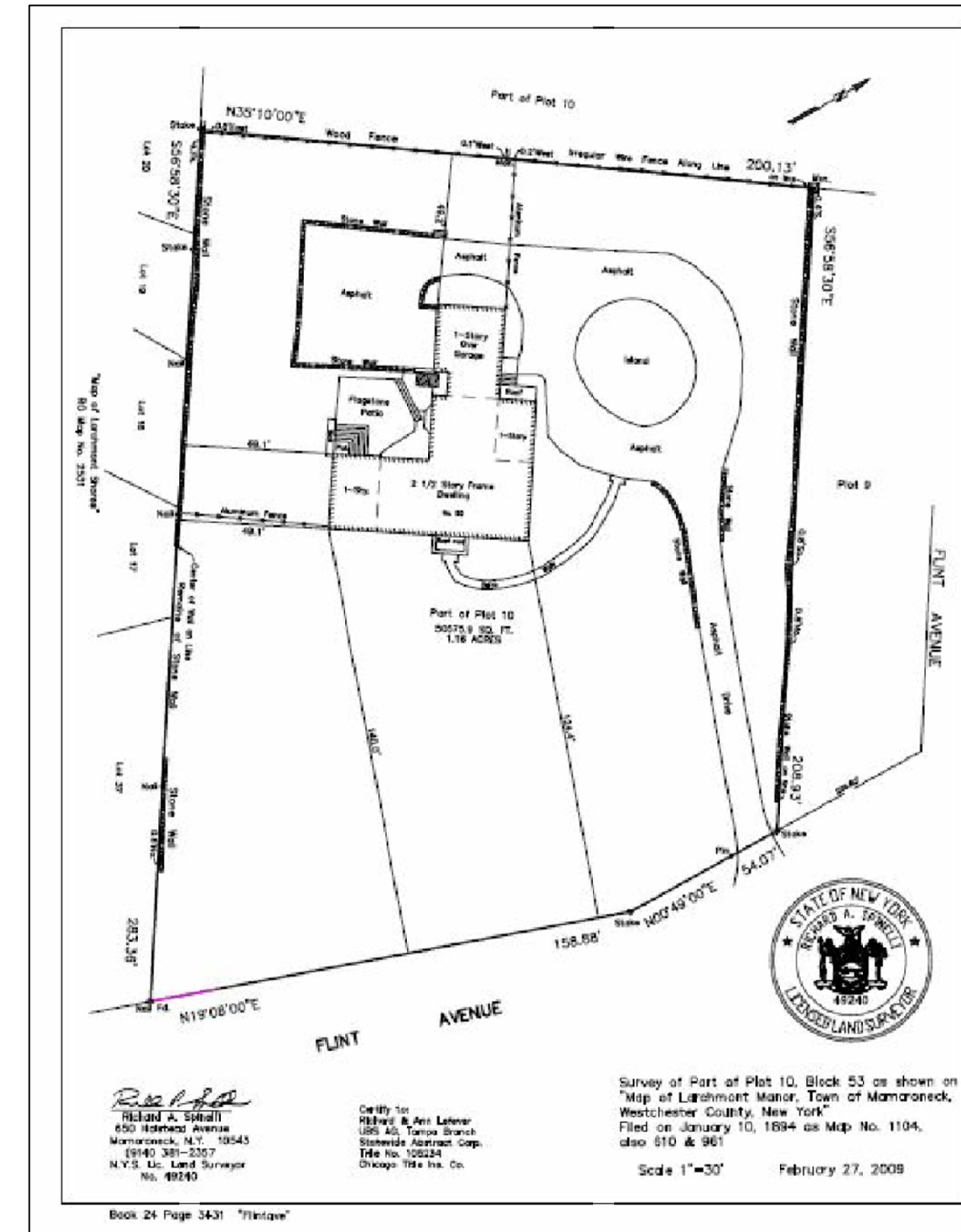
Incomplete application packages may not be accepted / reviewed

LOCATION



NORTH LOCATION MAP
NO SCALE

SURVEY



SURVEY ORIGINAL DRAWING BY RICHARD A. SPINELLI
NOT TO SCALE NOT A LEGAL SURVEY, FOR REFERENCE ONLY

PROJECT NAME

LEFEVER RESIDENCE

**MASTER BATHROOM RENOVATION
AND ONE BAY WINDOW**

**50 FLINT AVENUE
LARCHMONT, NEW YORK 10538**

CODE AND BUILDING DATA

NOT REQUIRED

**LEWIS + LEWIS
ARCHITECTS**

753 FOREST AVENUE
LARCHMONT, NEW YORK 10538
(914) 315-6323
gregorym.lewis@hotmail.com

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BY THE PERSON WHOSE NAME APPEARS ON THE
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**LEFEVER
RESIDENCE**

**MASTER BATHROOM
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50 FLINT AVENUE
Larchmont
New York 10538

NOTES



SHEET DESCRIPTION:

TITLE SHEET

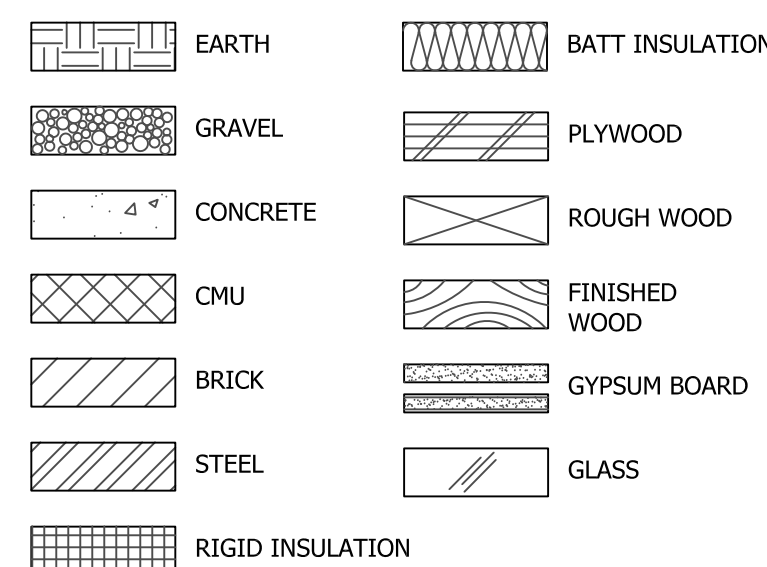
SHEET No.

T-1

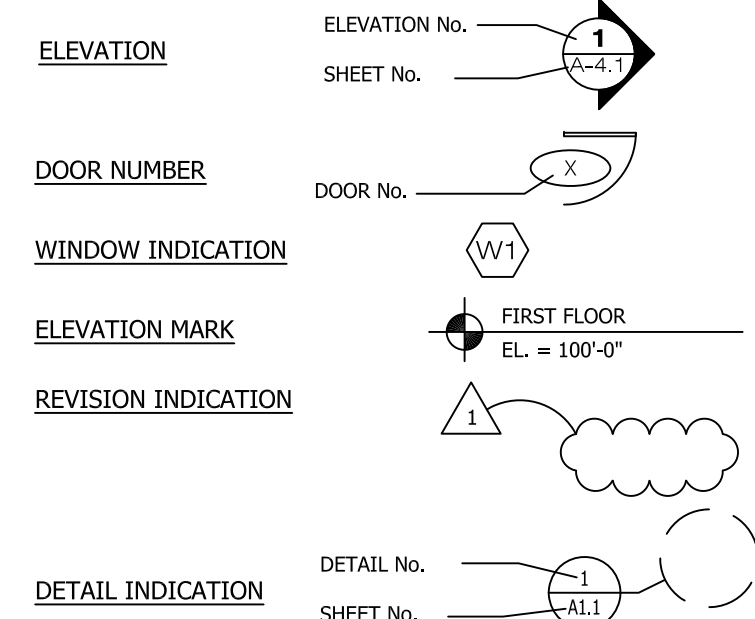
PHASE:

ARB SUBMITTAL

MATERIAL



SYMBOLS



SCOPE OF WORK

THE PROJECT SCOPE OF WORK IS:

- NEW ROOF AT ENTRY PORTICO
- INTERIOR KITCHEN RENOVATION
- 6 NEW WINDOWS

BY OWNER

THE FOLLOWING ITEMS ARE TO BE PROVIDED BY THE OWNER AND INSTALLED BY THE GENERAL CONTRACTOR:

- SURFACE MOUNTED LIGHTS PER THE LIGHTING PLAN
- CLOSET SHELVING SYSTEMS
- APPLIANCES
- CABINETS
- COUNTERTOPS AND TILE

GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- THE ARCHITECT CERTIFIES THESE DRAWINGS TO BE IN COMPLIANCE WITH THE NYS 2016 RESIDENTIAL CODE (ALSO CALLED 2015 IRC AS AMENDED BY 2017 NYS UNIFORM CODE SUPPLEMENT) AND THE NYS RESIDENTIAL ENERGY CODE ALSO CALLED 2015 IREC AS AMENDED BY 2016 NYS ENERGY CODE SUPPLEMENT). SEE "BUILDING ENVELOPE THERMAL COMPONENTS CRITERIA" FOR ENERGY COMPLIANCE INFORMATION.
- ALL CONSTRUCTION IS TO CONFORM WITH ALL APPLICABLE CODES, ORDINANCES, ETC. INCLUDING THE RESIDENTIAL CODE OF NEW YORK STATE 2016 RESIDENTIAL ENERGY CODE OF NEW YORK STATE.
- THE WORK TO BE PROVIDED ON THIS PROJECT SHALL INCLUDE ALL NECESSARY COMPONENTS EVEN THOUGH NOT SPECIFICALLY MENTIONED OR SHOWN; AND THE CONTRACTOR SHALL NOT AVAIL HIMSELF OF ANY MANIFESTLY UNINTENTIONAL OMISSIONS, SHOULD THEY EXIST. THESE DRAWINGS REPRESENT A "BUILDER SET" OF DRAWINGS AND ARE TO BE USED AS A GUIDE TO THE CONSTRUCTION PROCESS. THEY DO NOT REPRESENT A FULL OR COMPLETE ARCHITECTURAL SERVICE.
- ARCHITECT SUPERVISION OF CONSTRUCTION IS NOT INCLUDED WITH THESE DRAWINGS. THEREFORE THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR WORKMANSHIP, CODE OR PLAN COMPLIANCE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL MATERIALS, DIMENSIONS, DETAILS AND CONDITIONS AND SHALL REPORT ANY ALLEGED DIFFERENCES OR DISCREPANCIES AT ONCE TO THE OWNER.
- IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND REFERENCED STANDARDS OF THESE SPECIFICATIONS THE MORE STRINGENT PROVISIONS SHALL GOVERN.
- STRUCTURAL SPECIFICATIONS AND DRAWINGS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ARCHITECTURAL PRACTICE TO MEET MINIMUM REQUIREMENTS OF THE RESIDENTIAL CODE OF NEW YORK STATE.
- CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE NOR SHALL THEY BE IN EXCESS OF DESIGN LOADING INDICATED ON DRAWINGS.
- ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS MEANS, METHODS, TECHNIQUES OR SEQUENCES OF CONSTRUCTION AND THE SAFETY PROCEDURES EMPLOYED BY HIM.
- BUILDING INSPECTOR NOTE THAT THESE PLANS ARE INVALID...
A. IF ALTERED.
B. IF NOT STAMPED BY A NEW YORK STATE REGISTERED ARCHITECT WHOSE SEAL MUST BE EITHER IMPRESSED OR ORIGINALLY STAMPED.
C. IF NOT COLLATED WITH ALL PRESCRIBED SHEETS, INCLUDING THESE NOTES.
- ALL CHANGES TO THESE PLANS MAY ONLY BE APPROVED WITH THE CONSENT OF THE ARCHITECT AND OWNER.
- ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL BE HANDLED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PROVISIONS. WHERE SPECIFIC MANUFACTURED PRODUCTS ARE CALLED FOR, GENERIC EQUALS, WHICH MEET APPLICABLE STANDARDS AND SPECIFICATIONS, MAY BE USED.
- IN THE ABSENCE OF A SOILS REPORT THE DRAWINGS SHOWING THE FOOTINGS, FOUNDATION AND SLAB ARE TO BE USED AS A GUIDE TO THEIR CONSTRUCTION AND ARE NOT BASED ON ACTUAL SOIL CONDITIONS AT THE CONSTRUCTION SITE.
- ALL INTERIOR AND EXTERIOR INFILL WALLS SHALL BE 2X4 STUDS @ 16" O.C. EXCEPT WHERE NOTED.
- RELOCATE EXISTING SUPPLY AND RETURN DIFFUSERS/DUCTWORK AS REQUIRED.
- ALL EXHAUST FANS, RANGE HOODS AND DRYERS SHALL VENT TO THE OUTSIDE THROUGH SHEET METAL DUCTS. CAULK AROUND ALL PENETRATIONS THROUGH EXTERIOR.
- ALL ELECTRICAL WORK SHALL BE SUPPLIED BY A COMPONENT LICENSED ELECTRICAL CONTRACTOR AND SHALL CONFORM TO THE 1999 ELECTRICAL CODE.
- ALL PLUMBING WORK SHALL CONFORM TO THE 2015 INTERNATIONAL RESIDENTIAL CODE AND ALL LOCAL LAWS. ALL PLUMBING WORK SHALL BE PROVIDED BY A LICENSED PLUMBING CONTRACTOR.
- ALL PIPE PENETRATIONS OF FLOOR AND FIRE RATED WALL ASSEMBLIES SHALL HAVE FIRE STOP SEALANT BOTH SIDES TYPICAL OF 3M CP 25N/S CAULK OR ACCEPTABLE EQUAL PER MANUFACTURER'S RECOMMENDATIONS.
- THE ARCHITECT CERTIFIES THESE DRAWINGS ARE IN COMPLIANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE FOR TERMITE PROTECTION (R318) BY REQUIRING PRESSURE PRESERVATIVE TREATED WOOD AS PRESCRIBED IN SECTION R317.1 AND FOR PROTECTION AGAINST DECAY (R317).
- ALL INSULATION MATERIALS SHALL BE INSTALLED IN COMPLIANCE WITH THE BUILDING CODE. VAPOR BARRIERS SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE INSULATION. NO EXPOSED VAPOR BARRIERS SHALL BE PERMITTED, RATHER VAPOR BARRIERS SHALL BE COVERED WITH CODE COMPLIANT COVERING.
- THE PROPOSED WORK HAS BEEN DESIGNED IN COMPLIANCE WITH THE 2016 NYS ENERGY CODE.

THERMAL CRITERIA

2020 ENERGY CONSERVATION CODE OF NEW YORK STATE
CLIMATE ZONE 4
MINIMUM R-VALUE OF WALLS - R-21
MINIMUM R-VALUE OF CEILINGS - R-49
MINIMUM U-VALUE OF FENESTRATIONS - U-32

CLIMATIC AND GEOGRAPHICAL CRITERIA

2020 RESIDENTIAL CODE OF NEW YORK STATE
GROUND SNOW LOAD : 30 PSF
WIND SPEED : 110 MPH
SEISMIC DESIGN CATEGORY : C
FROST DEPTH : 42"
WEATHERING : SEVERE
TERMITE : MODERATE TO HEAVY
FLOOD HAZARD : NOT APPLICABLE

PSF = POUNDS PER SQUARE FOOT

STRUCTURAL CRITERIA

2020 RESIDENTIAL CODE OF NEW YORK STATE
LIVE LOAD:
LIVING AREAS AND DECK : 40 PSF
BEDROOMS: 30 PSF
DEAD LOAD : 10 PSF
GROUND SNOW LOAD: 30 PSF
ALL STRUCTURAL LUMBER SHALL BE:
DOUGLAS FIR #2, F_b = 900, E = 1,400,000 (OR BETTER)
PSF = POUNDS PER SQUARE FOOT

DRAWING INDEX

- T-1 TITLE SHEET
- A-0 AERIAL MAP AND PHOTOS
- A-1 EXISTING SITE PLAN
- A-2 PROPOSED SITE PLAN
- A-3 PARTIAL EXISTING, DEMOLITION AND PROPOSED SECOND FLOOR PLANS
- A-4 EXISTING AND PROPOSED FRONT ELEVATIONS
- A-5 EXISTING AND PROPOSED RIGHT SIDE ELEVATIONS
- A-6 EXISTING AND PROPOSED LEFT SIDE ELEVATIONS
- A-7 EXISTING AND PROPOSED REAR ELEVATIONS



1 - 50 FLINT AVE FRONT



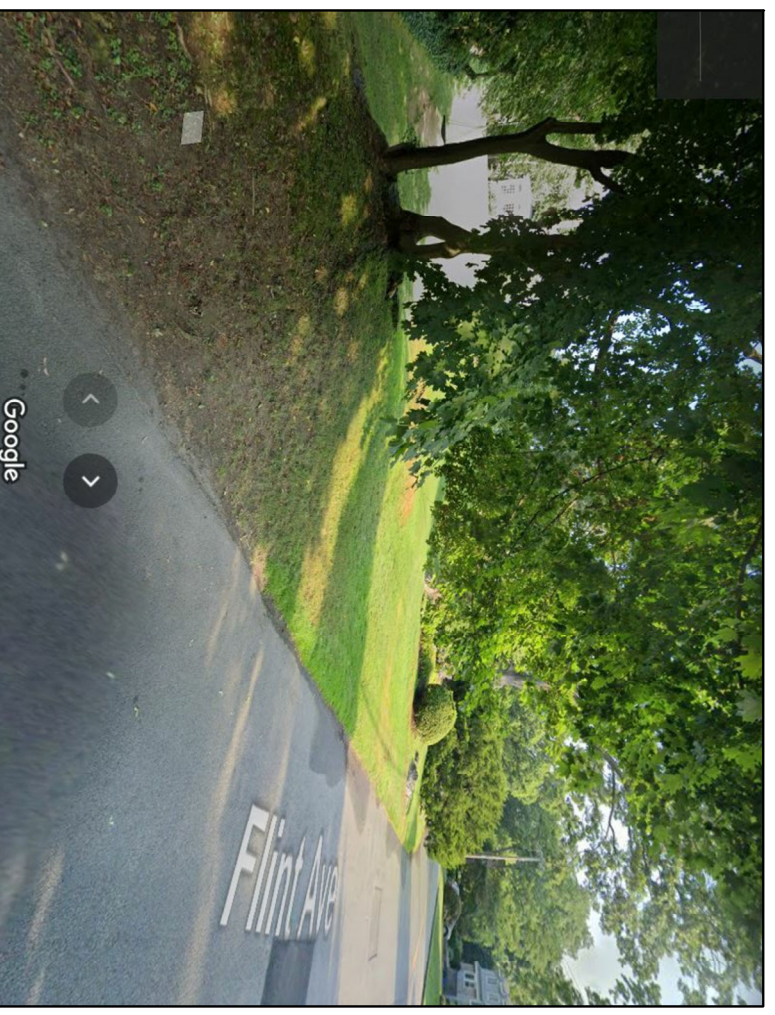
2 - 50 FLINT AVE REAR



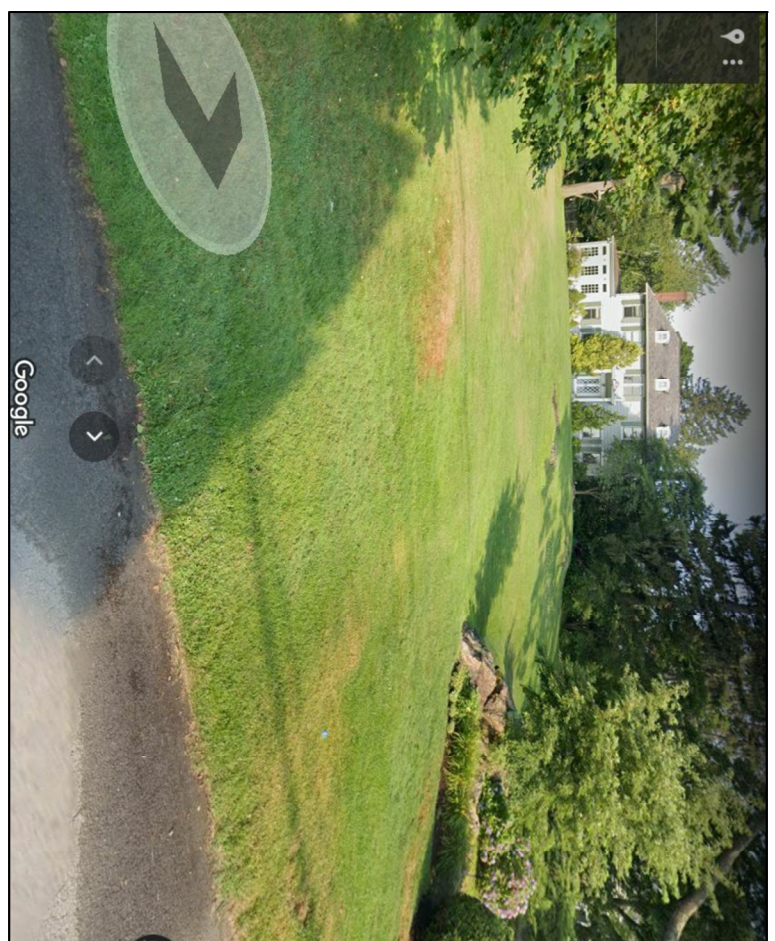
3 - 50 FLINT AVE REAR - LEFT



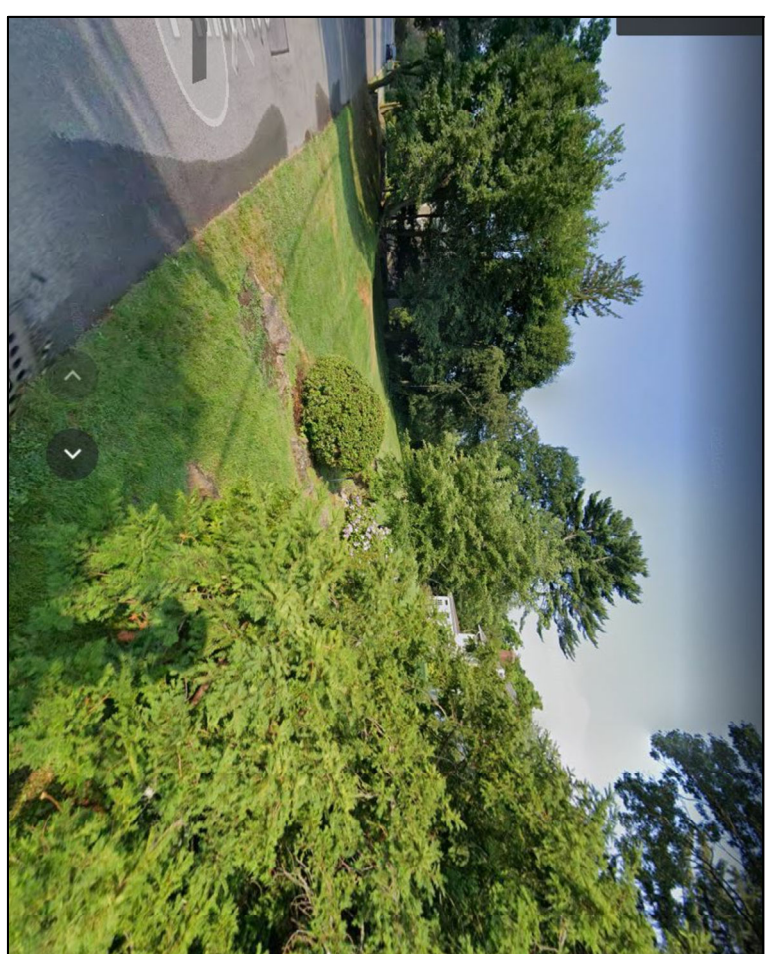
4 - 50 FLINT AVE LEFT



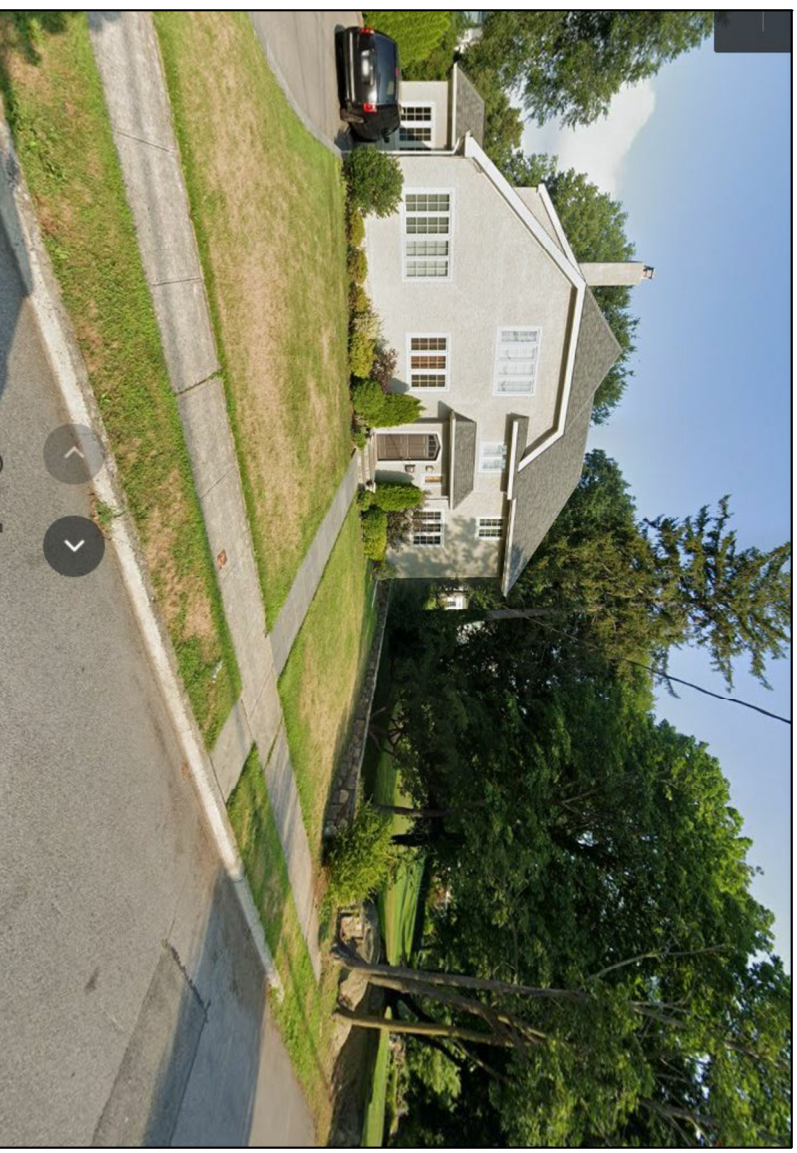
5 - 50 FLINT AVE - STREET VIEW LEFT



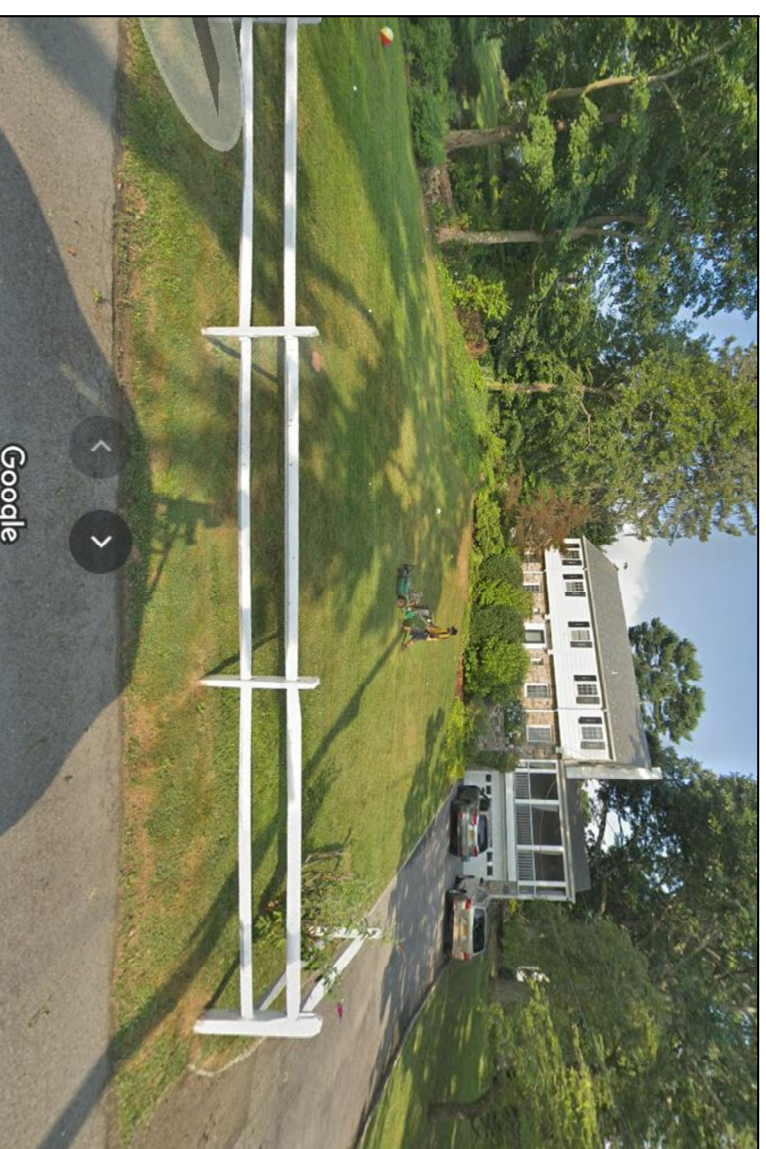
6 - 50 FLINT AVE - STREET VIEW FRONT



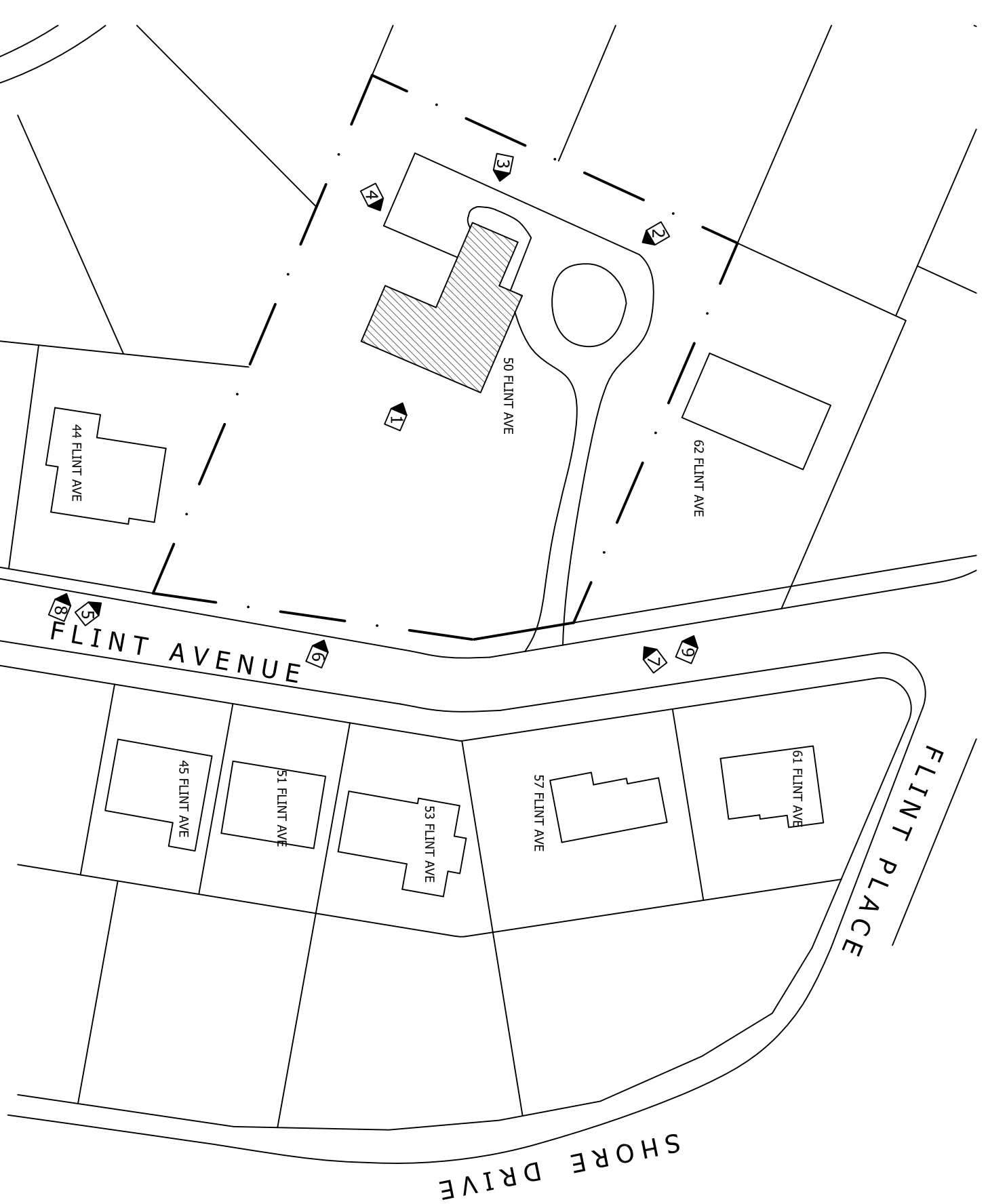
7 - 50 FLINT AVE - STREET VIEW RIGHT



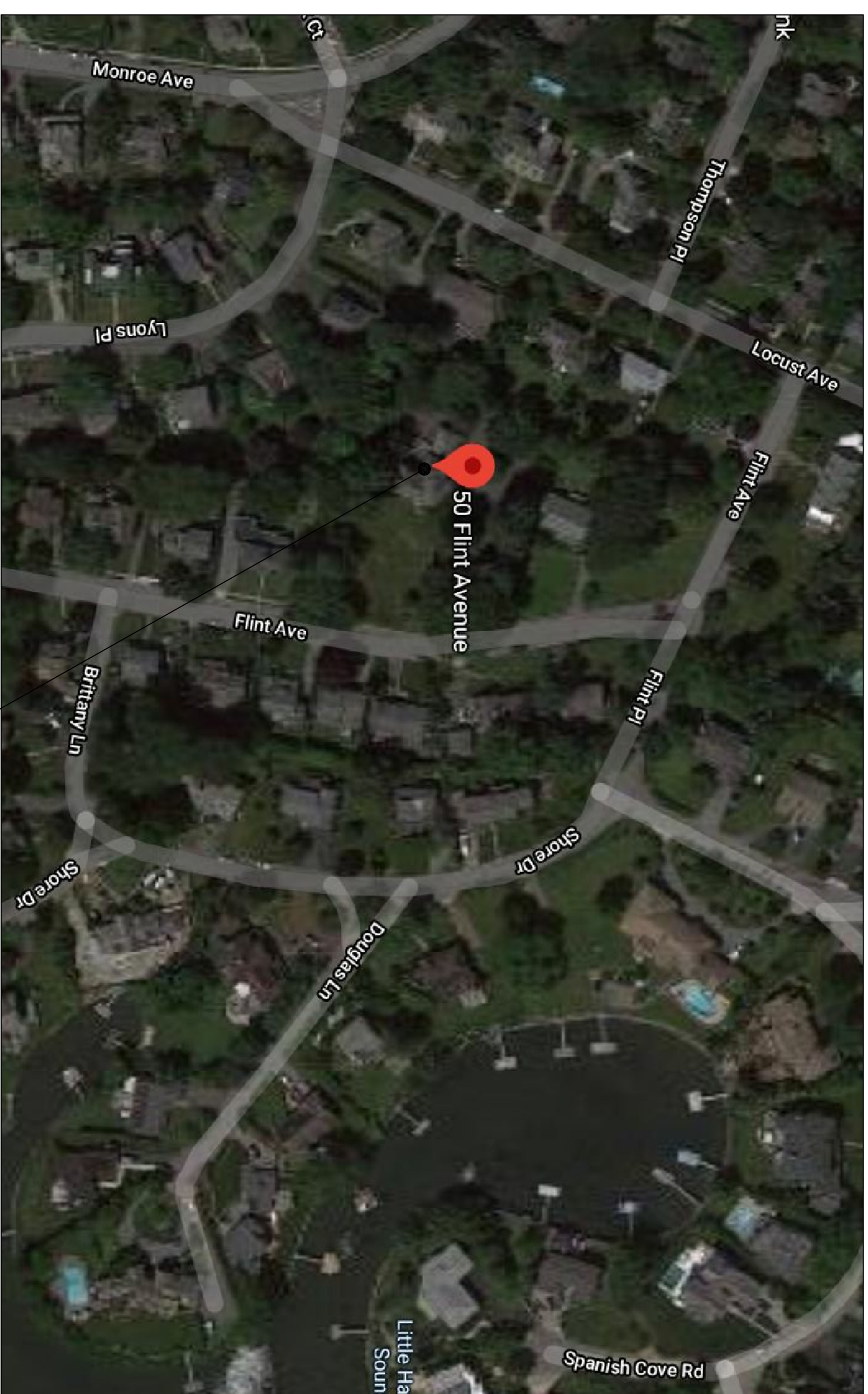
8 - 44 FLINT AVE



9 - 62 FLINT AVE



ADJACENT PROPERTIES
N.T.S.
LOCATION AND DIRECTION OF PHOTOGRAPH



AERIAL MAP
N.T.S.

SITE LOCATION

LEWIS + LEWIS ARCHITECTS
753 FOREST AVENUE
LARCHMONT, NEW YORK 10538
(914) 315-6323
gregorym.lewis@hotmail.com

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ISSUED / REVISIONS	DATE
ARB SUBMITTAL	6/18/21
ARB MEETING	6/29/21
ARB RE-SUBMITTAL	2/10/22
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LEFEVER RESIDENCE
MASTER BATHROOM RENOVATION AND ONE BAY WINDOW

50 FLINT AVENUE
Larchmont
New York, 10538

NOTES



SHEET DESCRIPTION:
AERIAL MAP AND PHOTOS

SHEET No.
A-0

PHASE:
ARB SUBMITTAL

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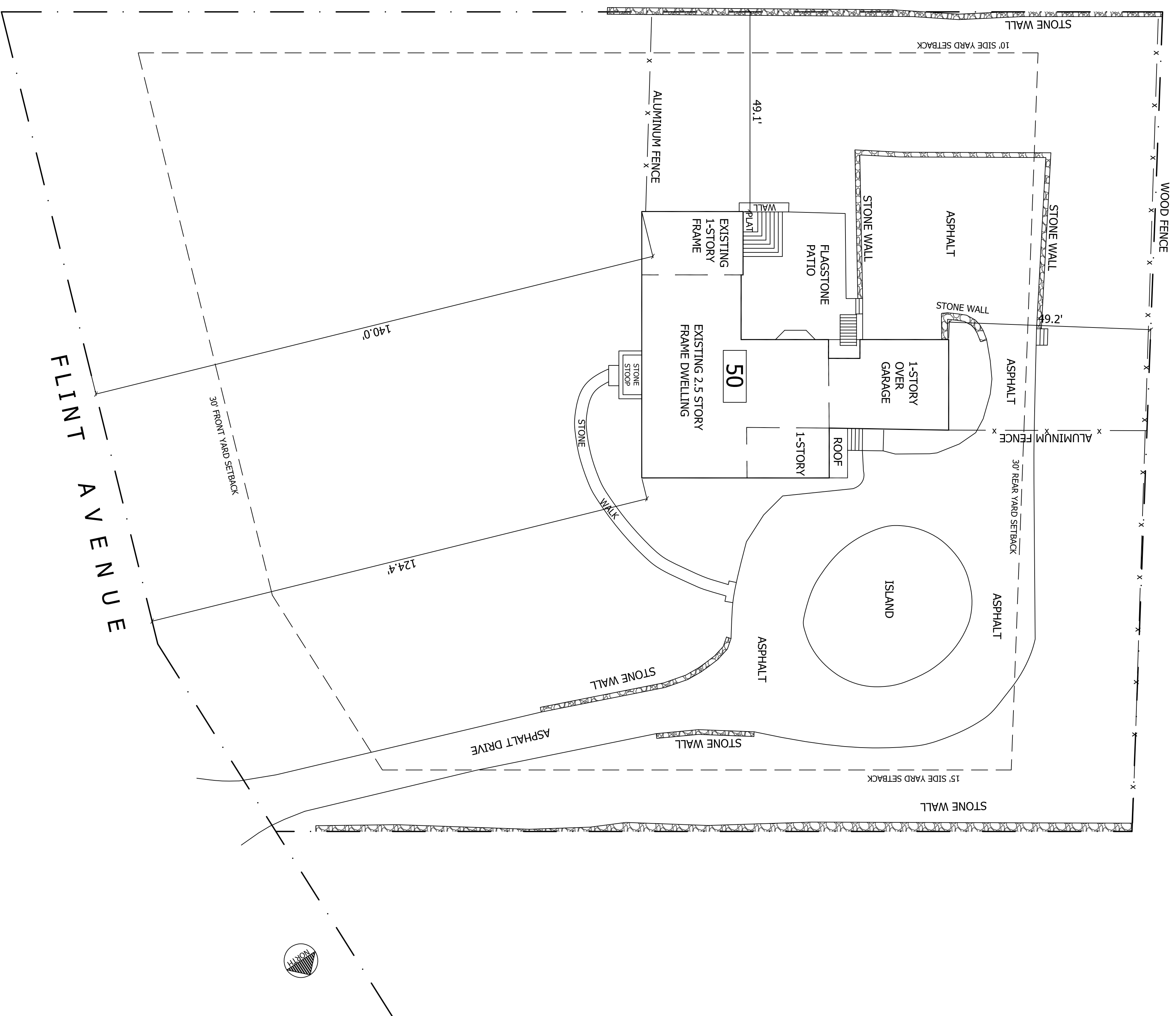
EXISTING SITE PLAN

SHEET No.

A-1

PHASE:

ARB SUBMITTAL



1 EXISTING SITE PLAN
 SCALE: 1/16" = 1'-0"

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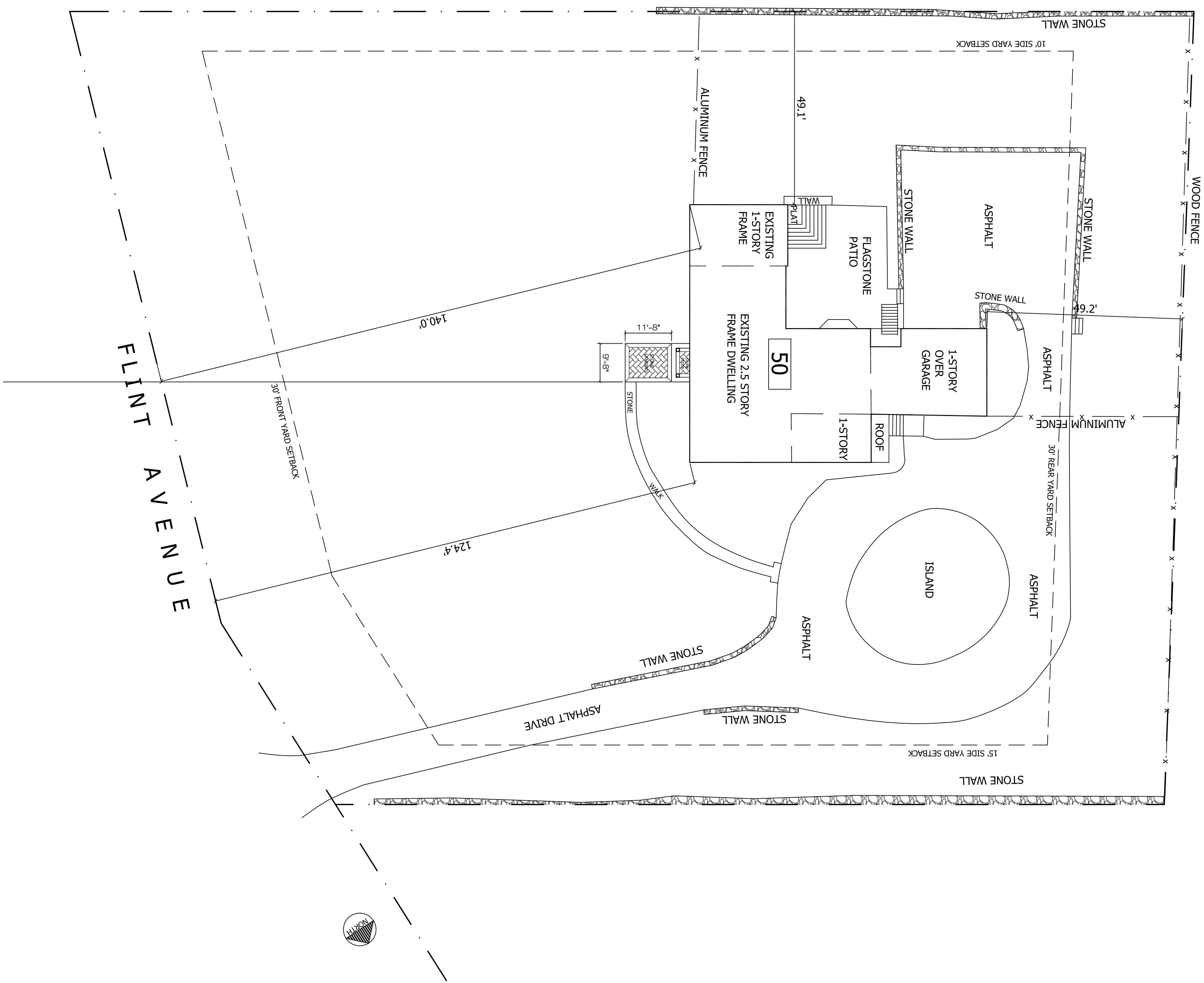
NOTES



SHEET DESCRIPTION:
PROPOSED SITE PLAN

SHEET No.
A-2

PHASE:
ARB SUBMITTAL



1
 PROPOSED SITE PLAN
 SCALE: 1/16" = 1'-0"

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ARB MEETING	3/29/22

LEFEVER
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MASTER BATHROOM
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ONE BAY WINDOW

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Larchmont
New York, 10538

NOTES



SHEET DESCRIPTION:
PARTIAL EXISTING
DEMOLITION AND
PROPOSED SECOND
FLOOR PLANS

A-3

SHEET No.

PHASE:

ARB SUBMITTAL

STRUCTURAL GENERAL NOTES

1. PROVIDE (2)2X10 HEADERS AT ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED.
2. FRAMING PLANS FOR ILLUSTRATIVE PURPOSES ONLY. NOT ALL MEMBERS SHOWN.
3. PROVIDE 3" MINIMUM BEARING AT ALL BEAMS.
4. PROVIDE 1 1/2" MINIMUM BEARING AT ALL HEADERS.
5. ALL EXTERIOR WALLS TO BE 2X6 STUDS AT 16" O.C. (2X4 AT INTERIOR WALLS U.N.O.)
6. NOTCH COLLUMNS AT EXTERIOR BEAMS (OR PROVIDE SIMPSON CONNECTORS).
7. MAINTAIN 6"-8" MINIMUM HEAD CLEARANCE AT ALL STAIRS
8. FIRE CAULK AT ALL FLOOR PENETRATIONS
9. ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR #2 (OR BETTER).
10. PROVIDE SIMPSON CONNECTORS AS REQUIRED AT BEAMS/COLLUMNS
11. SISTER 2X6S TO EXISTING CEILING JOISTS AS REQUIRED TO LEVEL CEILINGS

FLOOR PLAN SYMBOL LEGEND

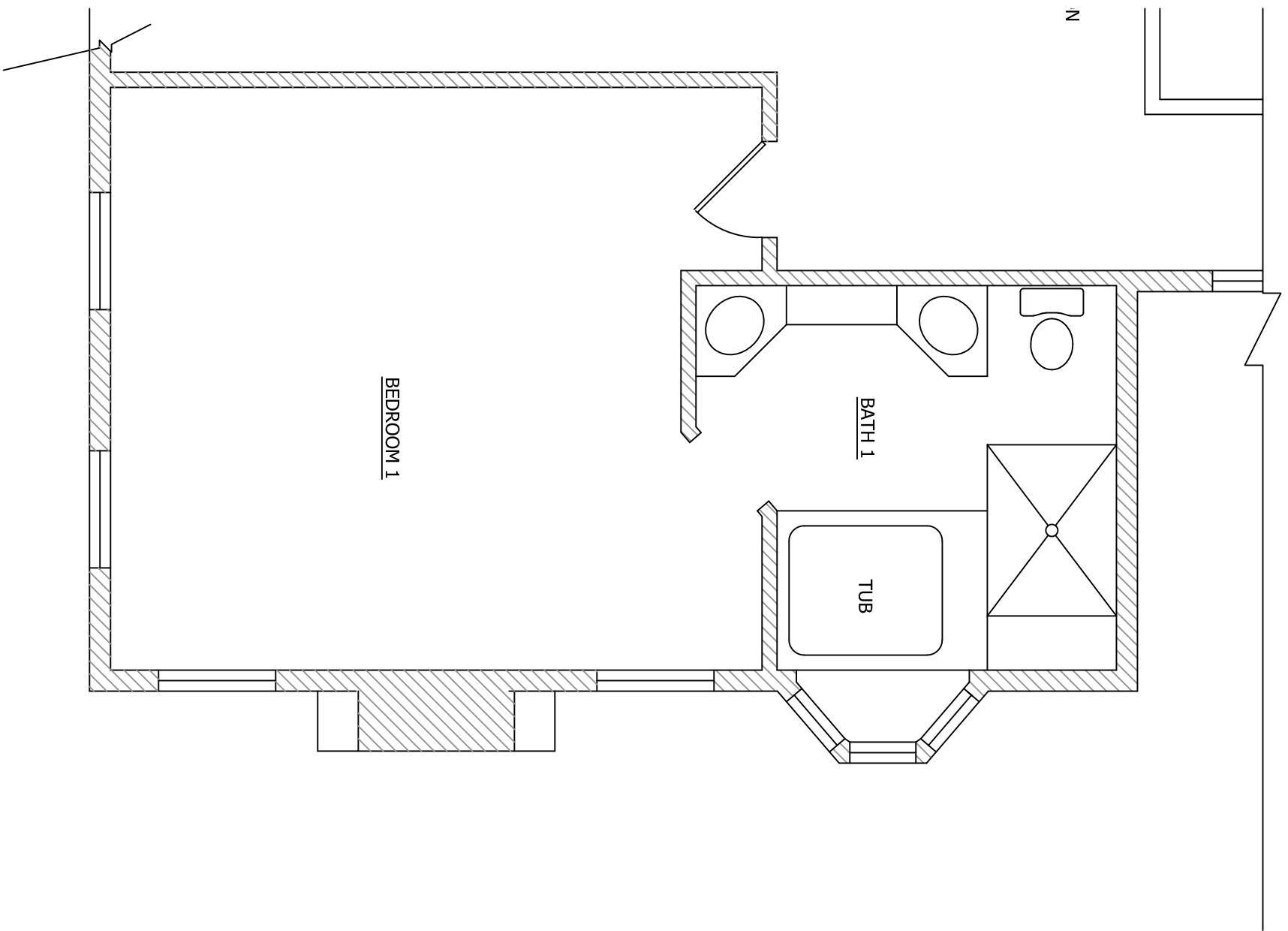
- ⊗ DOOR SYMBOL—SEE DOOR SCHEDULE
- ⊗ WINDOW SYMBOL—SEE WINDOW SCHEDULE
- EXISTING CONSTRUCTION
- NEW WOOD FRAMED WALLS
- 2X4 @ 16" O.C. @ INTERIOR WALLS
- 2X6 @ 16" O.C. @ EXTERIOR WALLS (R-21)
- (UNLESS NOTED OTHERWISE)

DEMOLITION NOTES - TYPICAL

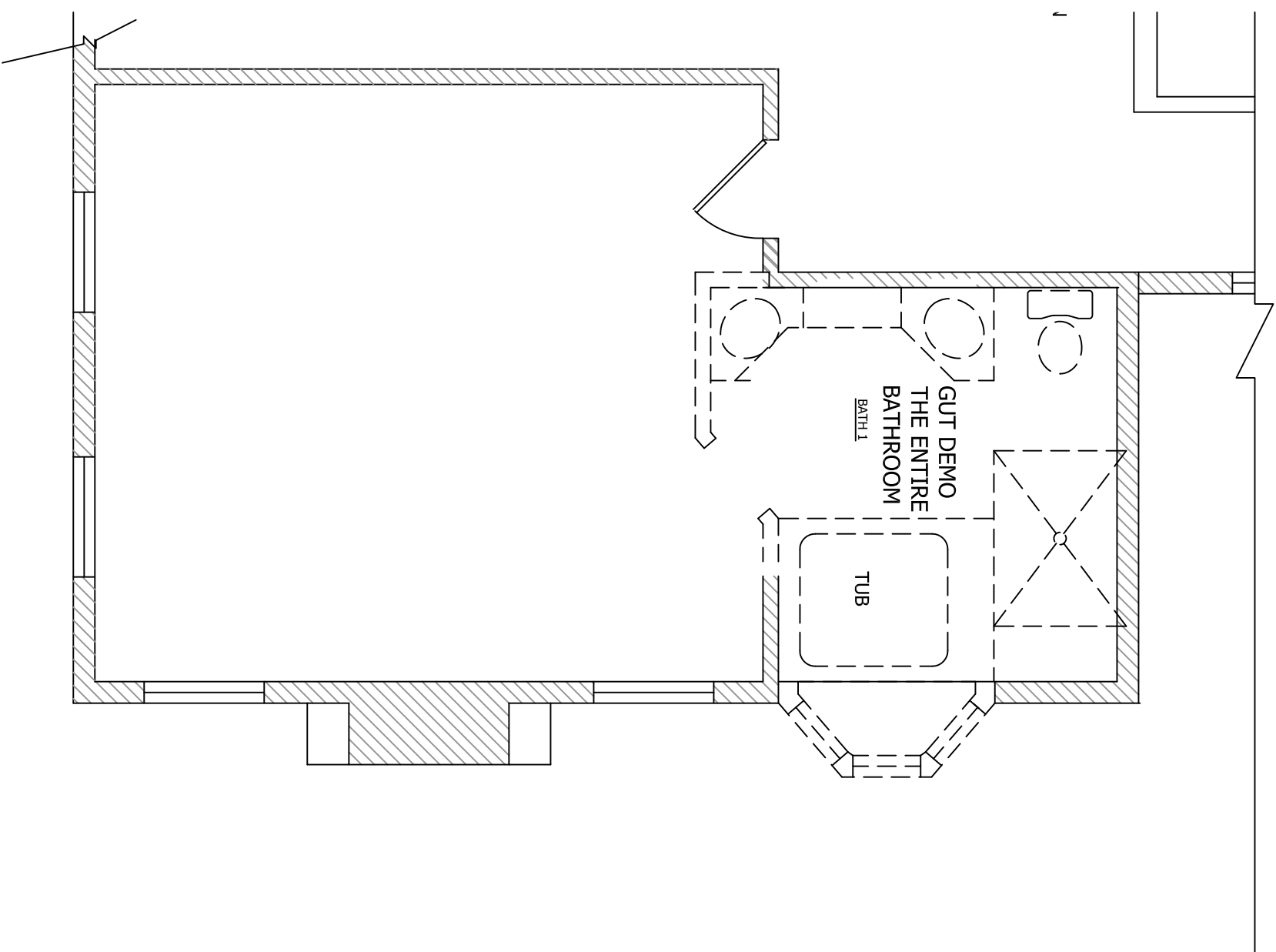
1. REMOVE EXISTING CONSTRUCTION AS REQUIRED TO BUILD PROPOSED LAYOUT.
2. RELOCATE EXISTING MECHANICAL/ELECTRICAL/PLUMBING AS REQUIRED FOR NEW LAYOUT.
3. PROVIDE DOUBLE VISQUEEN DUST BARRIER AT ALL DEMOLITION.
4. GENERAL CONTRACTOR RESPONSIBLE FOR ADHERENCE TO ALL LEAD ASBESTOS ETC. ABATEMENT PROCEDURES PER EPA STANDARDS.
5. PROTECT EXISTING HOUSE FROM DAMAGE DURING DEMOLITION.
6. REMOVE AND PROPERLY DISPOSE OF ALL DEMOLITION DEBRIS FROM THE CONSTRUCTION SITE.

DEMOLITION LEGEND

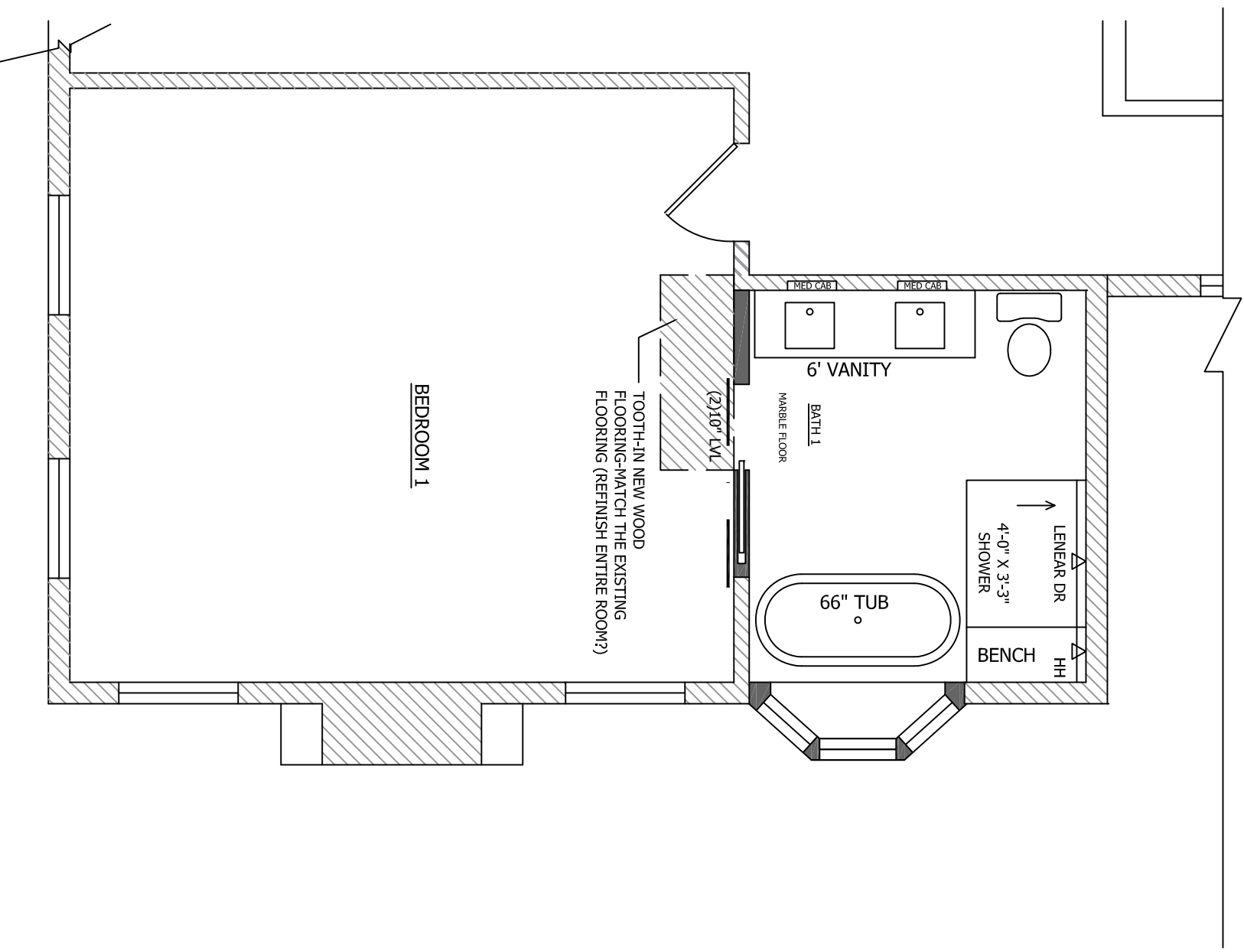
- EXISTING PARTITION TO REMAIN
- - - - EXISTING CONSTRUCTION TO BE REMOVED
- XXXXX INDICATES THE COMPLETE REMOVAL OF FINISHES DOWN TO THE SUBFLOOR AND WOOD REMAINING (GUT DEMOLITION)
- ////// INDICATES THE COMPLETE REMOVAL OF THE EXISTING FLOORING AND CEILING (TO THE JOISTS)
- ↖ EXISTING DOOR TO BE REMOVED.



1 PARTIAL EXISTING SECOND FLOOR PLAN
SCALE : 1/4" = 1'-0"



2 PARTIAL SECOND FLOOR DEMOLITION PLAN
SCALE : 1/4" = 1'-0"



3 PROPOSED PARTIAL SECOND FLOOR PLAN
SCALE : 1/4" = 1'-0"

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LEFEVER
RESIDENCE
 MASTER BATHROOM
 RENOVATION AND
 ONE BAY WINDOW

50 FLINT AVENUE
 Larchmont
 New York 10538

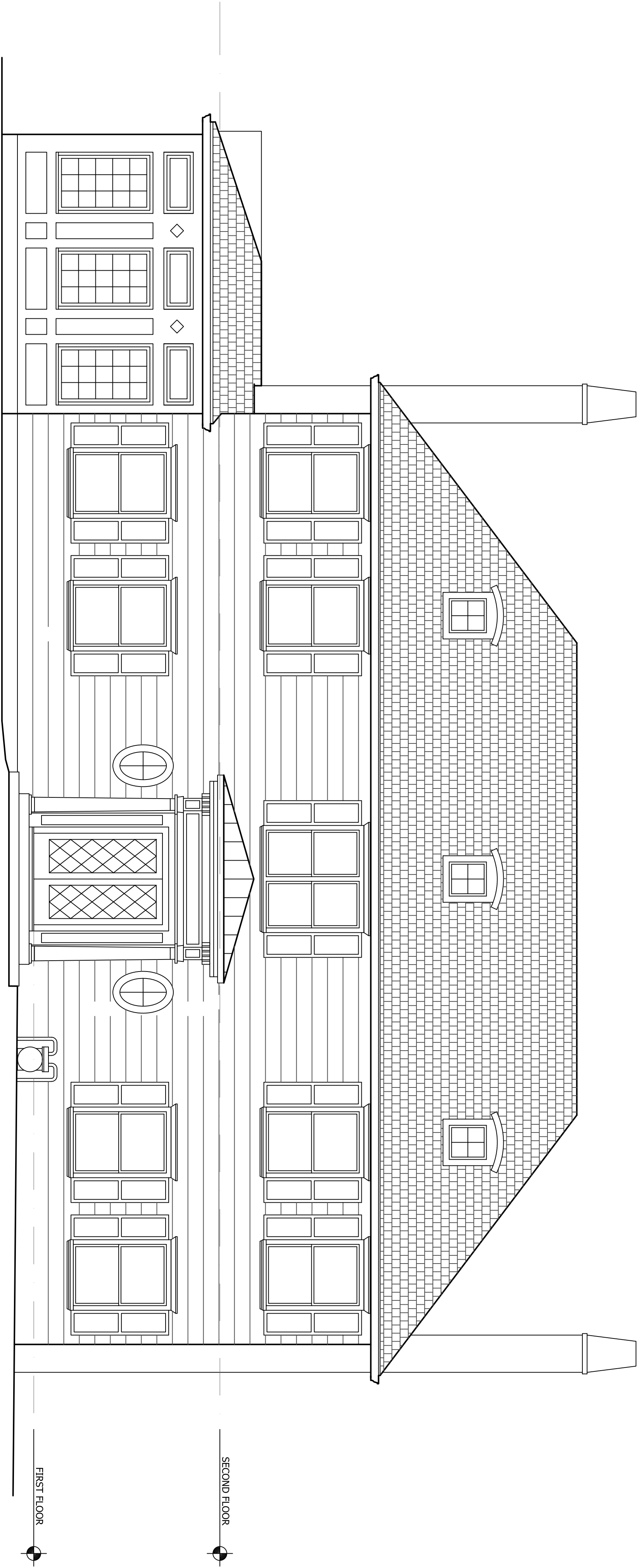
NOTES



SHEET DESCRIPTION:
**EXISTING AND
 PROPOSED FRONT
 ELEVATIONS**

SHEET No.
A-4

PHASE:
ARB SUBMITTAL



1 EXISTING FRONT ELEVATION
 SCALE : 1/4" = 1'-0"

NO CHANGE

LEWIS + LEWIS
ARCHITECTS
 753 FOREST AVENUE
 LARCHMONT, NEW YORK 10538
 (914) 315-6323
 gregorym.lewis@hotmail.com

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 PLANS.

ISSUED / REVISIONS	DATE
ARB SUBMITTAL	6/18/21
ARB MEETING	6/29/21
ARB RE-SUBMITTAL	2/10/22
ARB MEETING	2/23/22
ARB RE-SUBMITTAL	3/17/22
ARB MEETING	3/29/22

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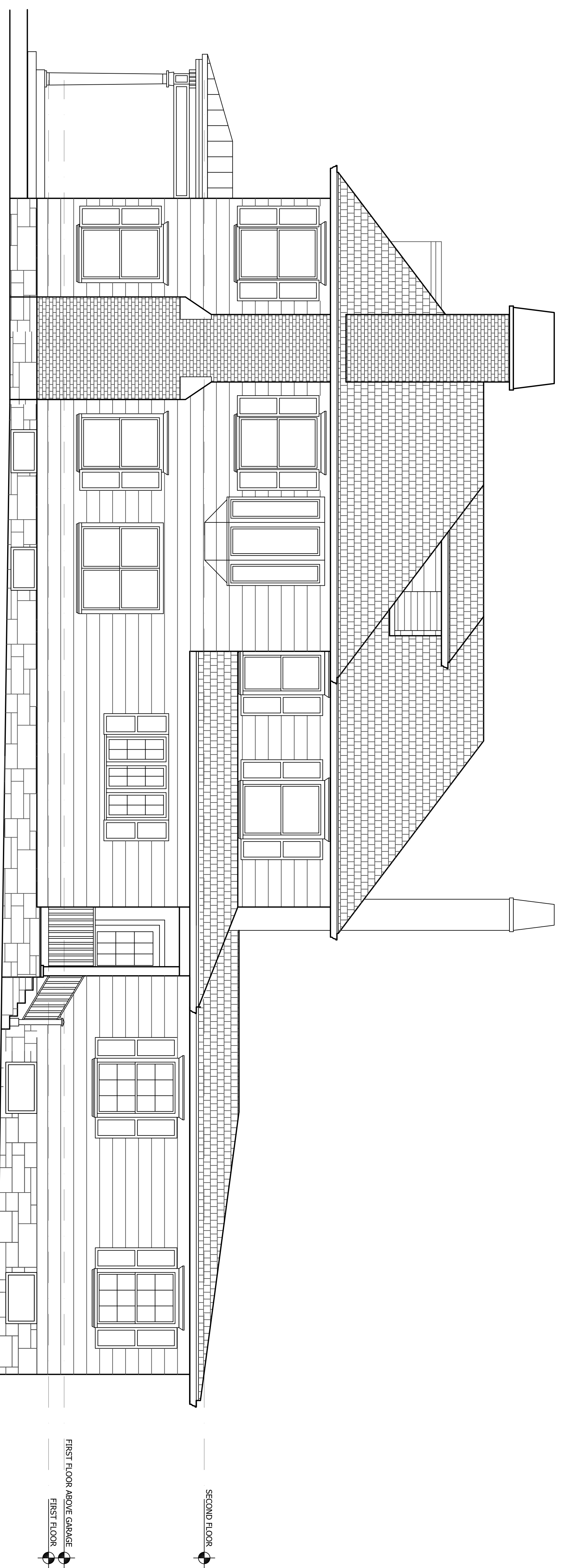


SHEET DESCRIPTION:
**EXISTING AND
 PROPOSED RIGHT
 SIDE ELEVATIONS**

A-5

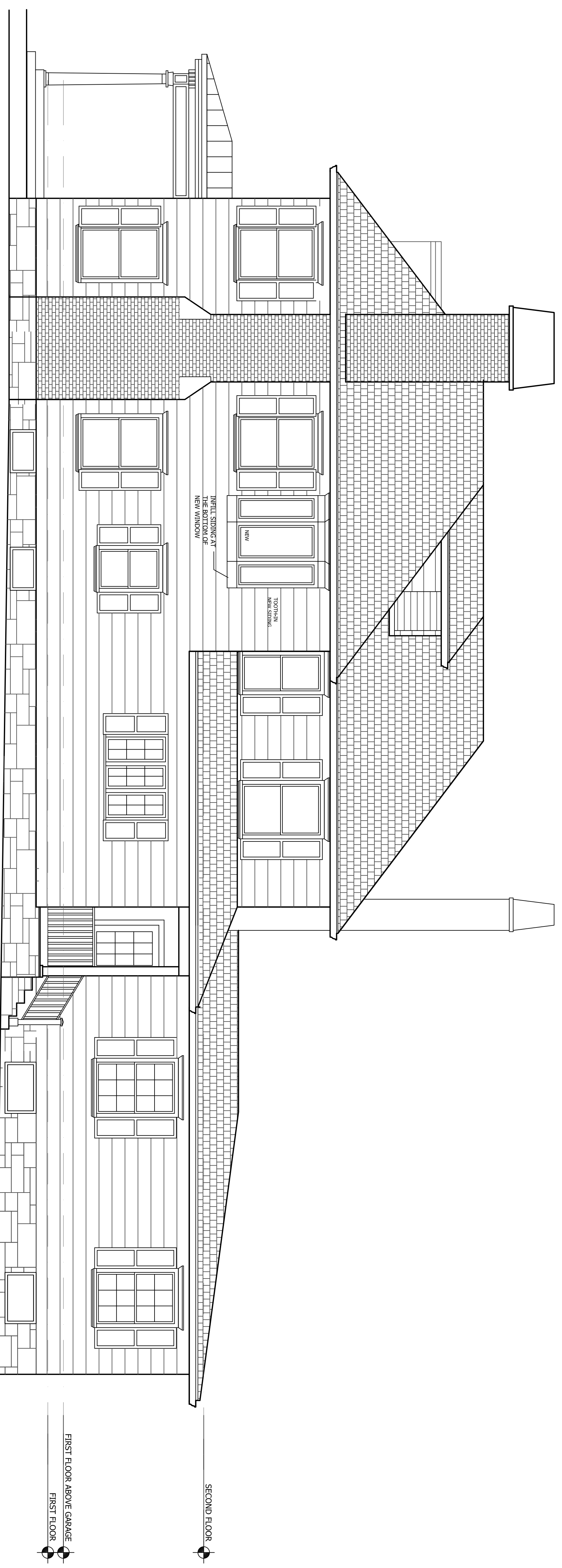
SHEET No.

PHASE:
ARB SUBMITTAL



EXISTING RIGHT SIDE ELEVATION

1
 EXISTING RIGHT SIDE ELEVATION
 SCALE : 1 / 4" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION - OPTION B

2
 PROPOSED RIGHT SIDE ELEVATION
 SCALE : 1 / 4" = 1'-0"

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ARB RE-SUBMITTAL	2/10/22
ARB MEETING	2/23/22
ARB RE-SUBMITTAL	3/17/22
ARB MEETING	3/29/22

LEFEVER
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NOTES

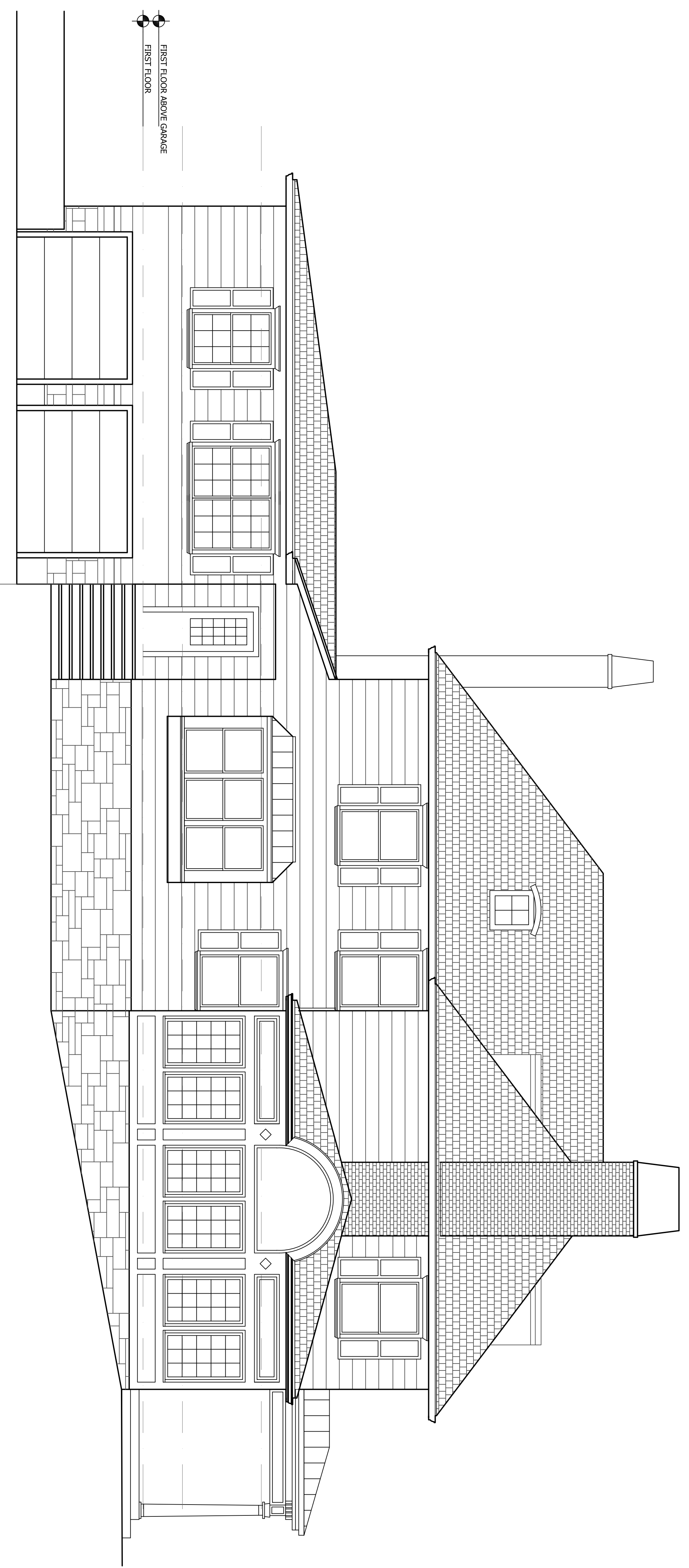


SHEET DESCRIPTION:
**EXISTING AND
PROPOSED LEFT SIDE
ELEVATIONS**

A-6

SHEET No.

PHASE:
ARB SUBMITTAL



1 EXISTING LEFT SIDE ELEVATION
SCALE : 1 / 4" = 1'-0"

NO CHANGE

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 BY THE PERSON WHOSE NAME APPEARS ON THE
 PLANS.

ISSUED / REVISIONS	DATE
ARB SUBMITTAL	6/18/21
ARB MEETING	6/29/21
ARB RE-SUBMITTAL	2/10/22
ARB MEETING	2/23/22
ARB RE-SUBMITTAL	3/17/22
ARB MEETING	3/29/22

LEFEVER
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NOTES



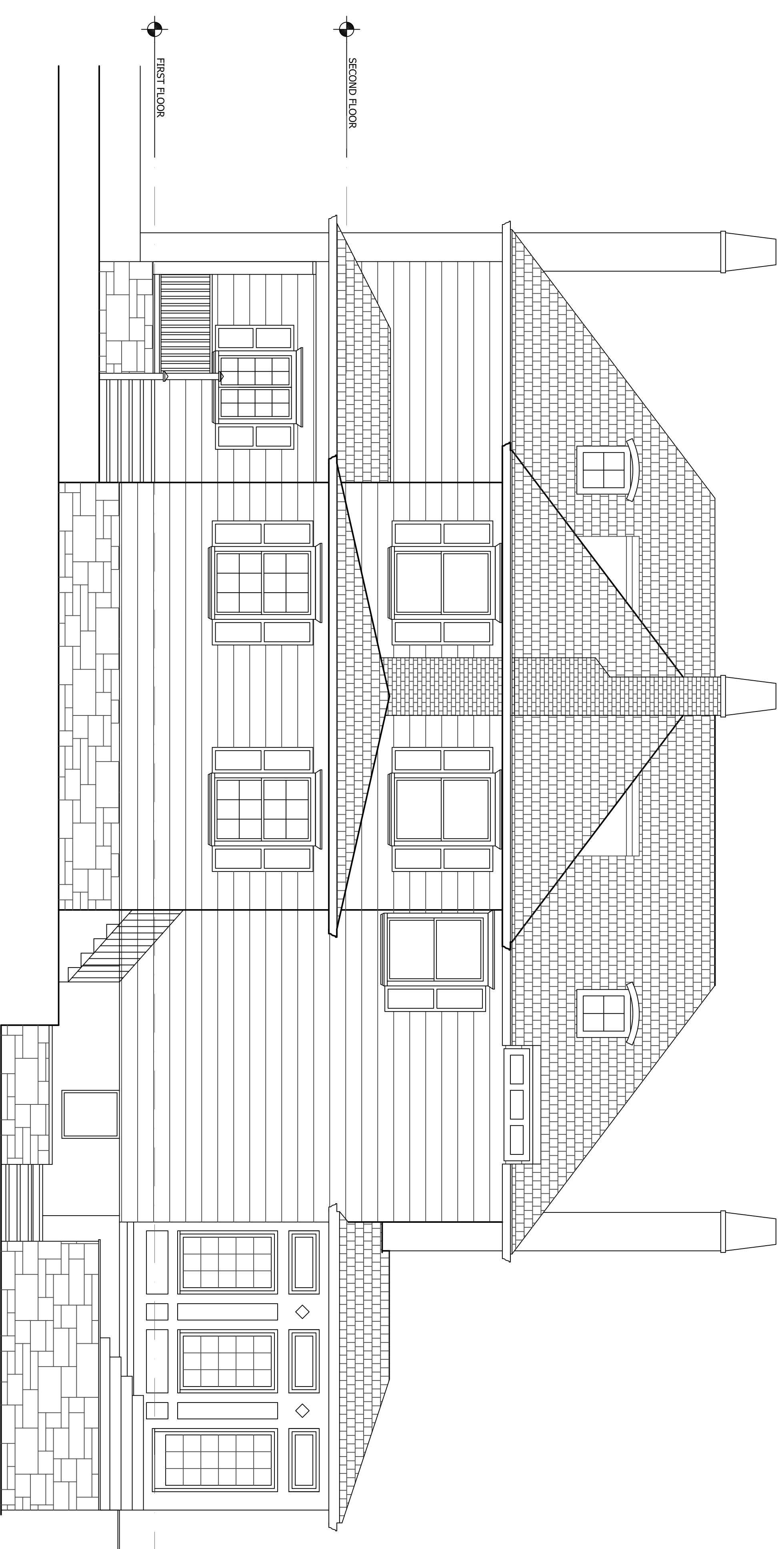
SHEET DESCRIPTION:
**EXISTING AND
 PROPOSED REAR
 ELEVATIONS**

SHEET No.

A-7

PHASE:

ARB SUBMITTAL



1 EXISTING LEFT SIDE ELEVATION
 SCALE : 1 / 4" = 1'-0"

NO CHANGE