

PROJECT NAME

MERL-WEITZ RESIDENCE

FRONT PORTICO ADDITION AND INTERIOR REMODELING

**64 WOODBINE AVE
LARCHMONT, NEW YORK 10538**

**LEWIS + LEWIS
ARCHITECTS**

www.lewisandlewisarchitects.com
753 FOREST AVENUE
LARCHMONT, NEW YORK 10538
(914) 315-6323
paige@lewisandlewisarchitects.com

CODE AND BUILDING DATA

HABITABLE AREA - SQUARE FEET	EXISTING	PROPOSED ADDITION	TOTAL
BASEMENT	510 *	0	510 *
FIRST FLOOR	1,804 *	0	1,804 *
SECOND FLOOR	1,570 *	0	1,570 *
ATTIC FLOOR (CEILING ABOVE 5')	263 *	0	263 *
TOTAL	4,147 *	0	4,147 *
NON-HABITABLE AREA - SQUARE FEET			
GARAGE (ATTACHED)	200 *	0	200 *

VILLAGE OF LARCHMONT-SCHEDULE OF DIMENSIONAL REGULATIONS
ZONING DISTRICT: R-10 LOT SIZE IS: 10,000 SF *

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA - SQUARE FEET	10,000	10,000 *	10,000 *
MINIMUM LOT WIDTH	80'	80 *	80' *
MINIMUM YARD DIMENSIONS - PRINCIPAL BUILDING			
FRONT YARD	30'	29.8' *	23.2'
FRONT YARD - TO FACE OF STAIR RISER	30'	--	24.8'
FRONT YARD - TO FACE OF PORCH [ZBA APPROVED 3/2/2022]			
ONE SIDE YARD	10'	11.0' *	11.0' *
SIDE YARD (BOTH)	25'	44.7' *	44.7' *
REAR YARD	25'	25.3' *	25.3' *
	ALLOWED	EXISTING	PROPOSED
MAXIMUM PERCENTAGE OF LOT TO BE OCCUPIED			
PRINCIPAL BUILDING	25%	18.0% *	18.7% *
ACCESSORY BUILDING	6%	2% *	2% *
MAXIMUM HEIGHT			
PRINCIPAL BUILDING (STORIES)	2.5	2.5 *	2.5 *
PRINCIPAL BUILDING (FEET)	30'	26' *	26' *
EXISTING FLOOR AREAS WERE OBTAINED BY TOWN OF MAMARONECK WEB SITE	ALLOWED	EXISTING	PROPOSED
GROSS RESIDENTIAL FLOOR AREA PER 381-37 (SQUARE FEET)			
GARAGE		200 *	200 *
BASEMENT		510 *	510 *
FIRST FLOOR		1,804 *	1,804 *
SECOND FLOOR		1,570 *	1,570 *
ATTIC		263 *	263 *
TOTAL SQUARE FOOTAGE	5,200	4,347 *	4,347 *
TOTAL FLOOR AREA RATIO (THEREFORE, ADJUSTED SIDE SETBACKS ARE 8.5' AND 12.5')	.62	.43 *	.43 *
LOT COVERAGE PER LOCAL LAW 12-2016 (NO CHANGE)	45%	36.6%	37.5%

* EXISTING CONDITION, NO CHANGE REQUESTED

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MATERIAL

EARTH	BATT INSULATION
GRAVEL	PLYWOOD
CONCRETE	ROUGH WOOD
CMU	FINISHED WOOD
BRICK	GYPSUM BOARD
STEEL	GLASS
RIGID INSULATION	

- GENERAL NOTES**
- DO NOT SCALE DRAWINGS.
 - THE ARCHITECT CERTIFIES THESE DRAWINGS TO BE IN COMPLIANCE WITH THE 2020 RESIDENTIAL CODE OF NYS (ALSO CALLED 2020 IRC) AND THE 2020 ENERGY CONSERVATION CODE OF NYS (ALSO CALLED 2020 REC). SEE "BUILDING ENVELOPE THERMAL COMPONENTS CRITERIA" FOR ENERGY COMPLIANCE INFORMATION.
 - ALL CONSTRUCTION IS TO CONFORM WITH ALL APPLICABLE CODES, ORDINANCES, ETC. INCLUDING THE RESIDENTIAL CODE OF NEW YORK STATE 2020 RESIDENTIAL ENERGY CODE OF NEW YORK STATE.
 - THE WORK TO BE PROVIDED ON THIS PROJECT SHALL INCLUDE ALL NECESSARY COMPONENTS EVEN THOUGH NOT SPECIFICALLY MENTIONED OR SHOWN; AND THE CONTRACTOR SHALL NOT AVAIL HIMSELF OF ANY MANIFESTLY UNINTENTIONAL OMISSIONS, SHOULD THEY EXIST. THESE DRAWINGS REPRESENT A "BUILDER SET" OF DRAWINGS AND ARE TO BE USED AS A GUIDE TO THE CONSTRUCTION PROCESS. THEY DO NOT REPRESENT A FULL OR COMPLETE ARCHITECTURAL SERVICE.
 - ARCHITECT SUPERVISION OF CONSTRUCTION IS NOT INCLUDED WITH THESE DRAWINGS. THEREFORE THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR WORKMANSHIP, CODE OR PLAN COMPLIANCE DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL VERIFY ALL MATERIALS, DIMENSIONS, DETAILS AND CONDITIONS AND SHALL REPORT ANY ALLEGED DIFFERENCES OR DISCREPANCIES AT ONCE TO THE OWNER.
 - IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND REFERENCED STANDARDS OF THESE SPECIFICATIONS THE MORE STRINGENT PROVISIONS SHALL GOVERN.
 - STRUCTURAL SPECIFICATIONS AND DRAWINGS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ARCHITECTURAL PRACTICE TO MEET MINIMUM REQUIREMENTS OF THE RESIDENTIAL CODE OF NEW YORK STATE.
 - CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE NOR SHALL THEY BE IN EXCESS OF DESIGN LOADING INDICATED ON DRAWINGS.
 - ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS MEANS, METHODS, TECHNIQUES OR SEQUENCES OF CONSTRUCTION AND THE SAFETY PROCEDURES EMPLOYED BY HIM.
 - BUILDING INSPECTOR NOTE THAT THESE PLANS ARE INVALID...
 - IF ALTERED.
 - IF NOT STAMPED BY A NEW YORK STATE REGISTERED ARCHITECT WHOSE SEAL MUST BE EITHER IMPRESSED OR ORIGINALLY STAMPED.
 - IF NOT COLLATED WITH ALL PRESCRIBED SHEETS, INCLUDING THESE NOTES.
 - ALL CHANGES TO THESE PLANS MAY ONLY BE APPROVED WITH THE CONSENT OF THE ARCHITECT AND OWNER.
 - ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL BE HANDLED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PROVISIONS. WHERE SPECIFIC MANUFACTURED PRODUCTS ARE CALLED FOR, GENERIC EQUALS, WHICH MEET APPLICABLE STANDARDS AND SPECIFICATIONS, MAY BE USED.
 - IN THE ABSENCE OF A SOILS REPORT THE DRAWINGS SHOWING THE FOOTINGS, FOUNDATION AND SLAB ARE TO BE USED AS A GUIDE TO THEIR CONSTRUCTION AND ARE NOT BASED ON ACTUAL SOIL CONDITIONS AT THE CONSTRUCTION SITE.
 - ALL INTERIOR AND EXTERIOR INFILL WALLS SHALL BE 2X4 STUDS @ 16" O.C. EXCEPT WHERE NOTED.
 - RELOCATE EXISTING SUPPLY AND RETURN DIFFUSERS/DUCTWORK AS REQUIRED.
 - ALL EXHAUST FANS, RANGE HOODS AND DRYERS SHALL VENT TO THE OUTSIDE THROUGH SHEET METAL DUCTS. CAULK AROUND ALL PENETRATIONS THROUGH EXTERIOR.
 - ALL ELECTRICAL WORK SHALL BE SUPPLIED BY A COMPONENT LICENSED ELECTRICAL CONTRACTOR AND SHALL CONFORM TO THE 1999 ELECTRICAL CODE.
 - ALL PLUMBING WORK SHALL CONFORM TO THE 2020 RESIDENTIAL CODE OF NYS AND ALL LOCAL LAWS. ALL PLUMBING WORK SHALL BE PROVIDED BY A LICENSED PLUMBING CONTRACTOR.
 - ALL PIPE PENETRATIONS OF FLOOR AND FIRE RATED WALL ASSEMBLIES SHALL HAVE FIRE STOP SEALANT BOTH SIDES TYPICAL OF 3M CP 25N/S CAULK OR ACCEPTABLE EQUAL PER MANUFACTURER'S RECOMMENDATIONS.
 - THE ARCHITECT CERTIFIES THESE DRAWINGS ARE IN COMPLIANCE WITH THE 2020 RESIDENTIAL CODE OF NYS FOR TERMITE PROTECTION (R318) BY REQUIRING PRESSURE PRESERVATIVE TREATED WOOD AS PRESCRIBED IN SECTION R317.1 AND FOR PROTECTION AGAINST DECAY (R317).
 - ALL INSULATION MATERIALS SHALL BE INSTALLED IN COMPLIANCE WITH THE BUILDING CODE. VAPOR BARRIERS SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE INSULATION. NO EXPOSED VAPOR BARRIERS SHALL BE PERMITTED. RATHER VAPOR BARRIERS SHALL BE COVERED WITH CODE COMPLIANT COVERING.
 - THE PROPOSED WORK HAS BEEN DESIGNED IN COMPLIANCE WITH THE 2020 NYS ENERGY CODE.

THERMAL CRITERIA

2020 ENERGY CONSERVATION CODE OF NEW YORK STATE
CLIMATE ZONE 4
MINIMUM R-VALUE OF WALLS - R-21
MINIMUM R-VALUE OF CEILINGS - R-49
MINIMUM U-VALUE OF FENESTRATIONS - U-32

CLIMATIC AND GEOGRAPHICAL CRITERIA

2020 RESIDENTIAL CODE OF NEW YORK STATE
GROUND SNOW LOAD : 30 PSF
WIND SPEED : 110 MPH
SEISMIC DESIGN CATEGORY : C
FROST DEPTH : 42"
WEATHERING : SEVERE
TERMITE : MODERATE TO HEAVY
FLOOD HAZARD : ZONE AE (EL 12) 36119C0342F 09/28/2007

PSF = POUNDS PER SQUARE FOOT

STRUCTURAL CRITERIA

2020 RESIDENTIAL CODE OF NEW YORK STATE
LIVE LOAD:
LIVING AREAS AND DECK : 40 PSF
BEDROOMS: 30 PSF
DEAD LOAD : 10 PSF
GROUND SNOW LOAD: 30 PSF

ALL STRUCTURAL LUMBER SHALL BE:
DOUGLAS FIR #2, fb =900, E=1,400,000 (OR BETTER)

PSF = POUNDS PER SQUARE FOOT

- DRAWING INDEX**
- | | |
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| A-1.3 | PROPOSED LANDSCAPE PLAN |
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| A-4 | PROPOSED FIRST FLOOR REFLECTED CEILING & ELECTRICAL PLAN |
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| A-8 | EXISTING & PROPOSED REAR ELEVATIONS |
| STORMWATER MANAGEMENT DRAWINGS PROVIDED BY HUDSON ENGINEERING & CONSULTING, P.C. | |
| C-1 | STORMWATER MANAGEMENT PLAN |
| C-2 | DETAILS |

SYMBOLS

ELEVATION	ELEVATION No.
	SHEET No.
DOOR NUMBER	DOOR No.
WINDOW INDICATION	
ELEVATION MARK	FIRST FLOOR El. = 100'-0"
REVISION INDICATION	
DETAIL INDICATION	DETAIL No.
	SHEET No.

- SCOPE OF WORK**
- THE PROJECT SCOPE OF WORK IS:
- 61 SF FRONT PORTICO ADDITION
 - 110 SF STONE PATIO ADDITION
 - 30 SF WOOD STEPS ADDITION
 - EXTERIOR FRONT FACADE RENOVATIONS
 - INTERIOR REMODELING
- SEE FULL SET OF DRAWINGS FOR ENTIRE SCOPE OF WORK

- BY OWNER**
- THE FOLLOWING ITEMS ARE TO BE PROVIDED BY THE OWNER AND INSTALLED BY THE GENERAL CONTRACTOR:
- SURFACE MOUNTED LIGHTS
 - CLOSET SHELVING SYSTEMS
 - CABINETS
 - APPLIANCES
 - COUNTERTOPS
 - PLUMBING FIXTURES
 - TILE

ISSUED / REVISIONS

DESCRIPTION	DATE
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ARCHITECTURAL REVIEW BOARD MEETING 03/30/2022	03/17/2022

MERL-WEITZ RESIDENCE

64 Woodbine Ave
Larchmont
New York 10538

NOTES

SHEET DESCRIPTION:

TITLE SHEET

SHEET No.

T-1

PHASE:

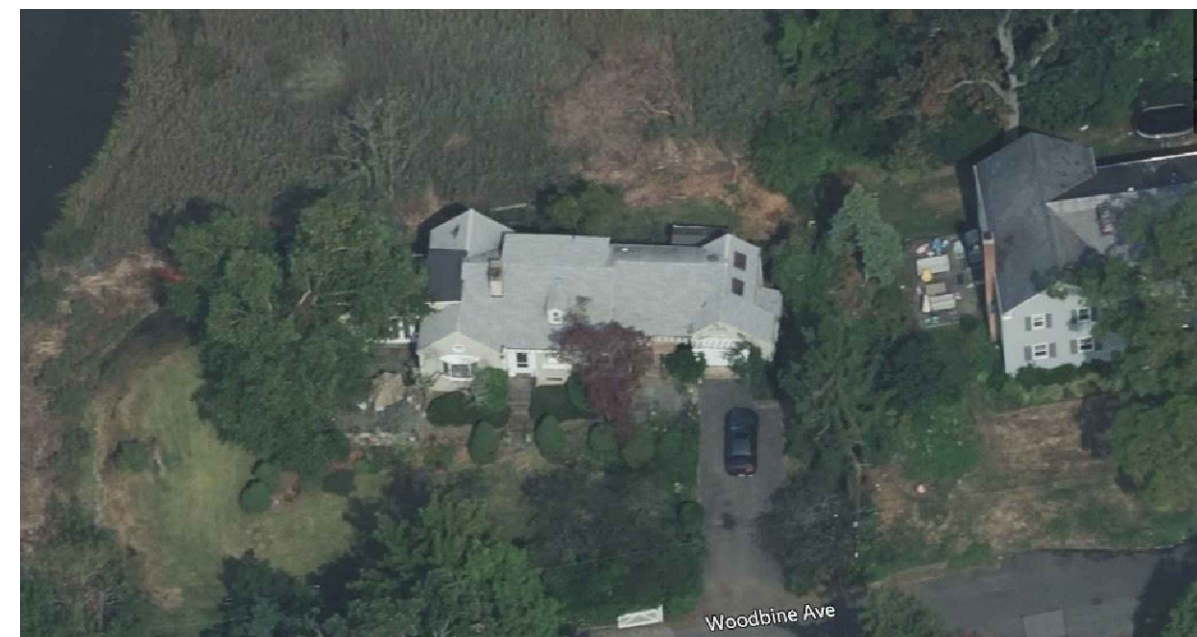
VILLAGE BOARDS



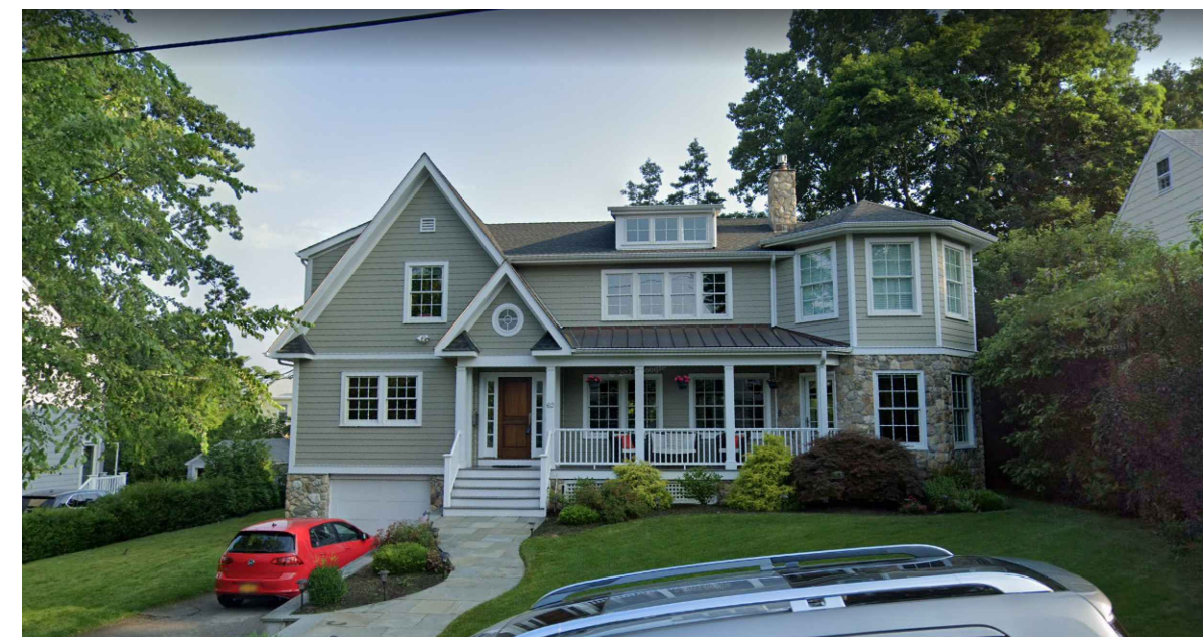
1 - 64 WOODBINE AVE FRONT



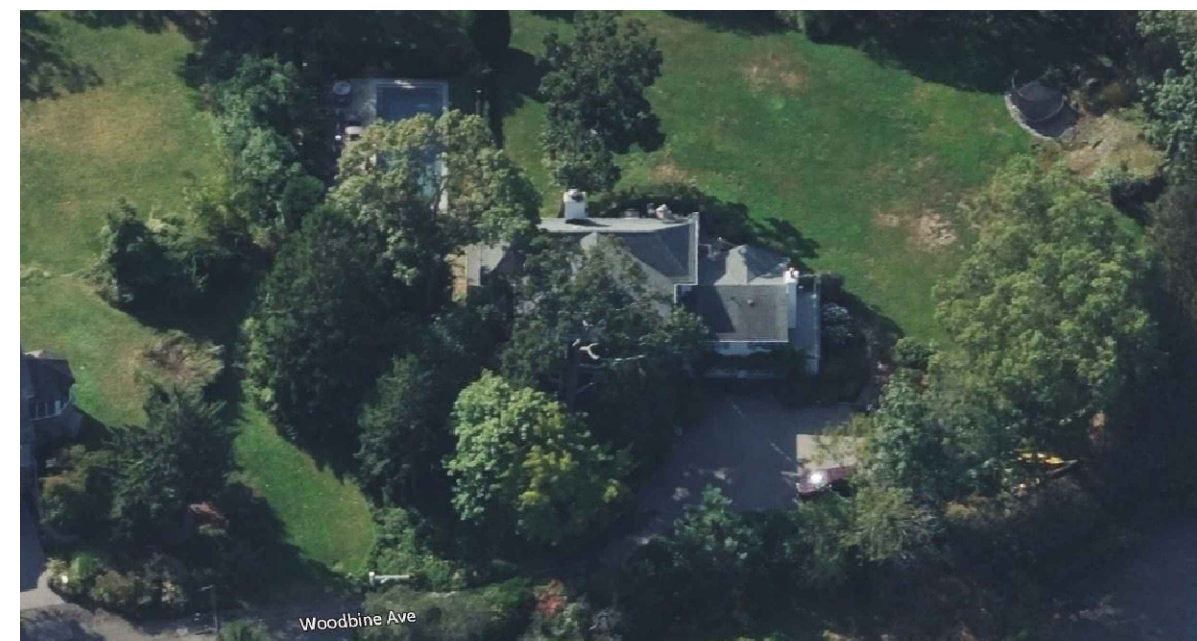
2 - 64 WOODBINE AVE FRONT-LEFT



5 - 68 WOODBINE AVE



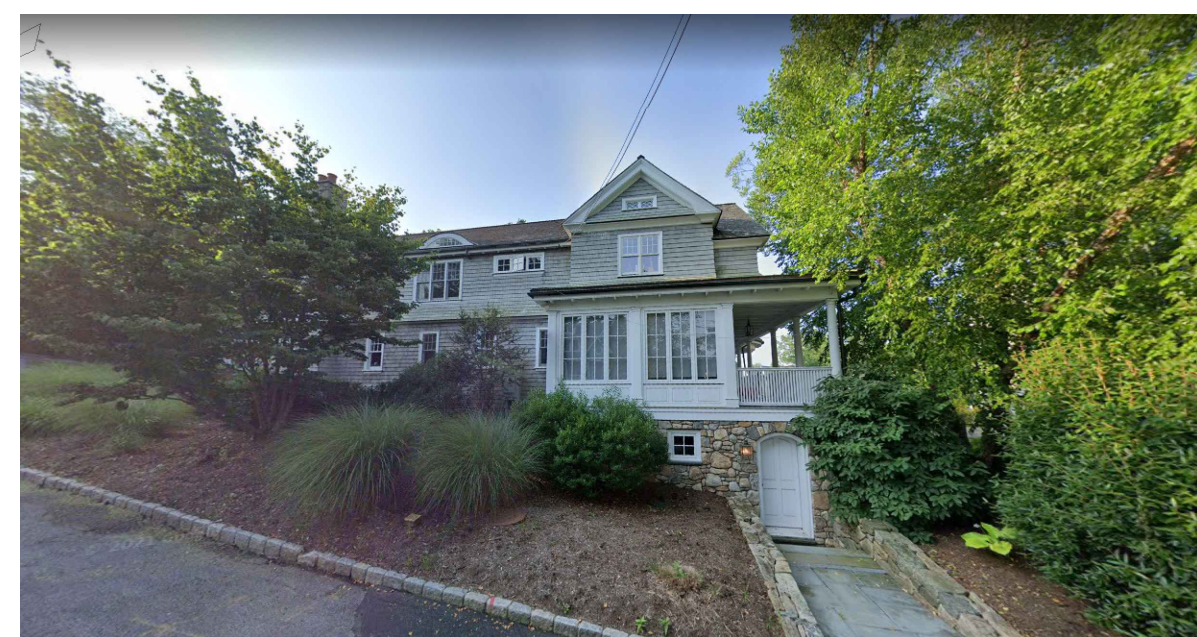
6 - 62 WOODBINE AVE



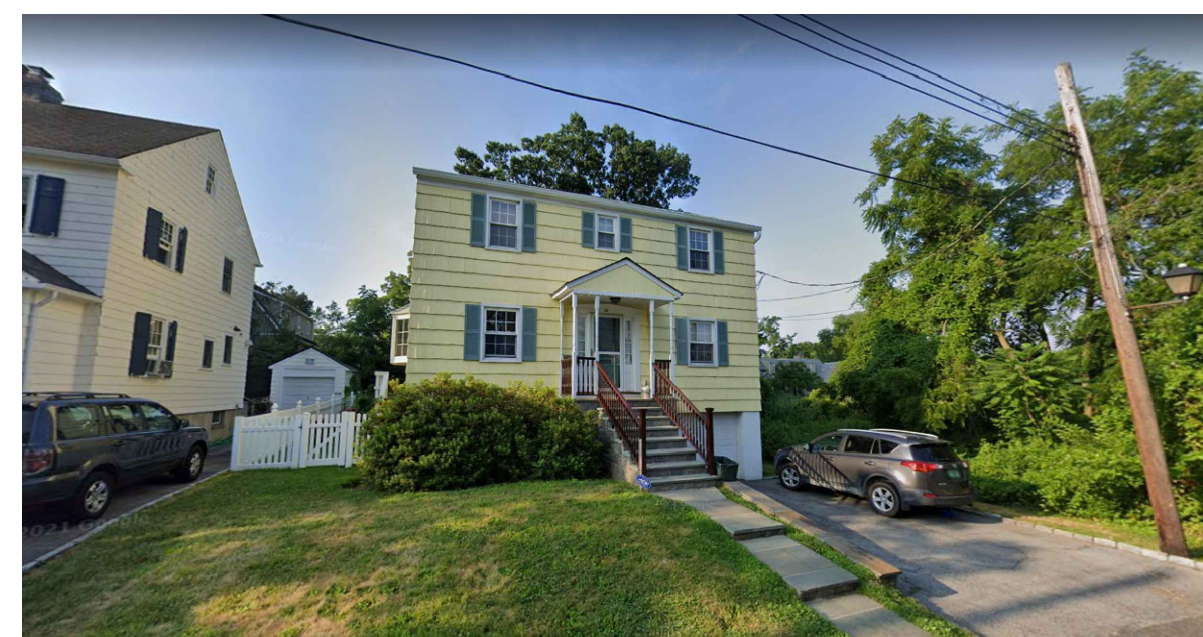
7 - 125 WOODBINE AVE



8 - 65 WOODBINE AVE



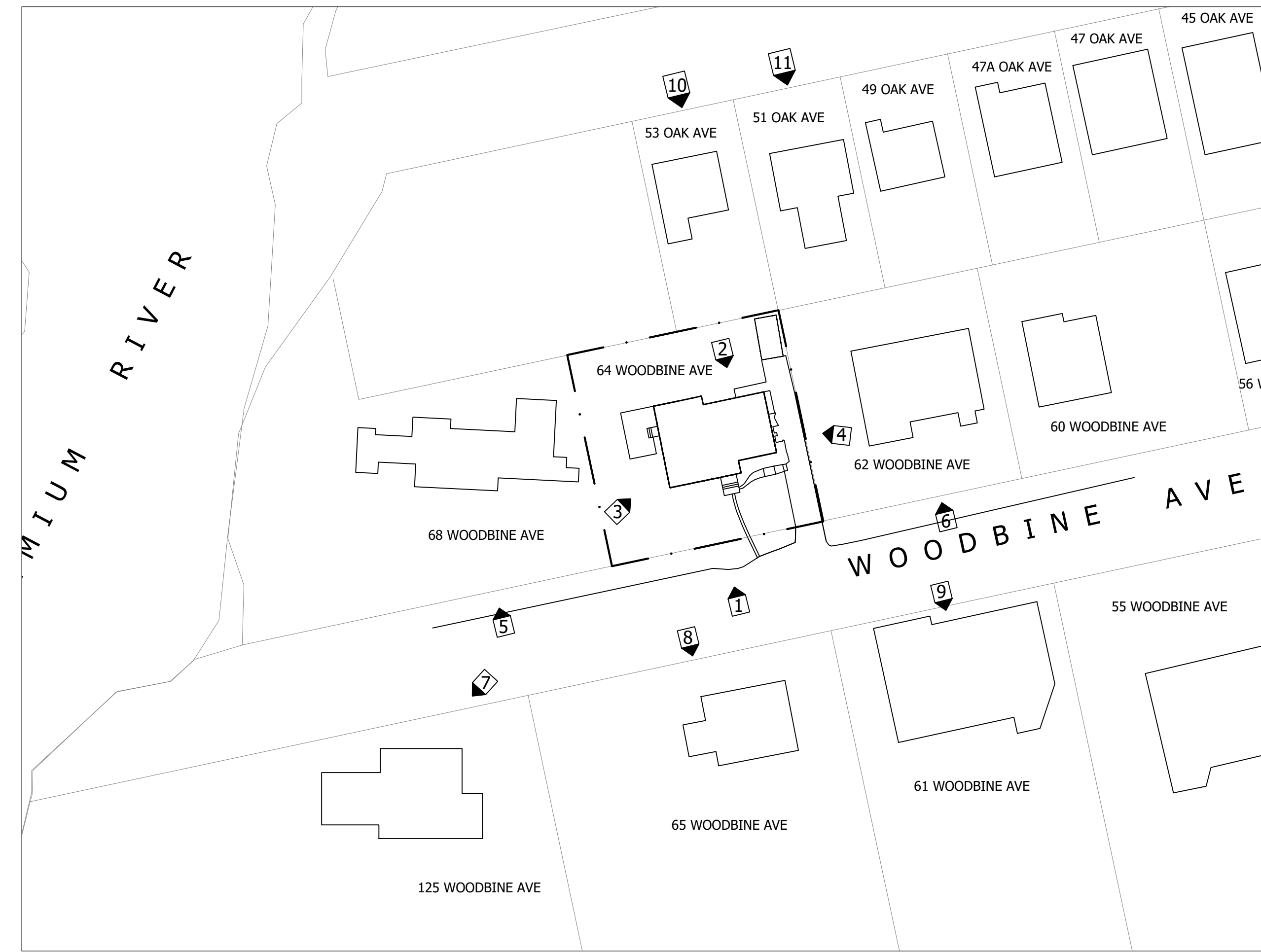
9 - 61 WOODBINE AVE



10 - 53 OAK AVE

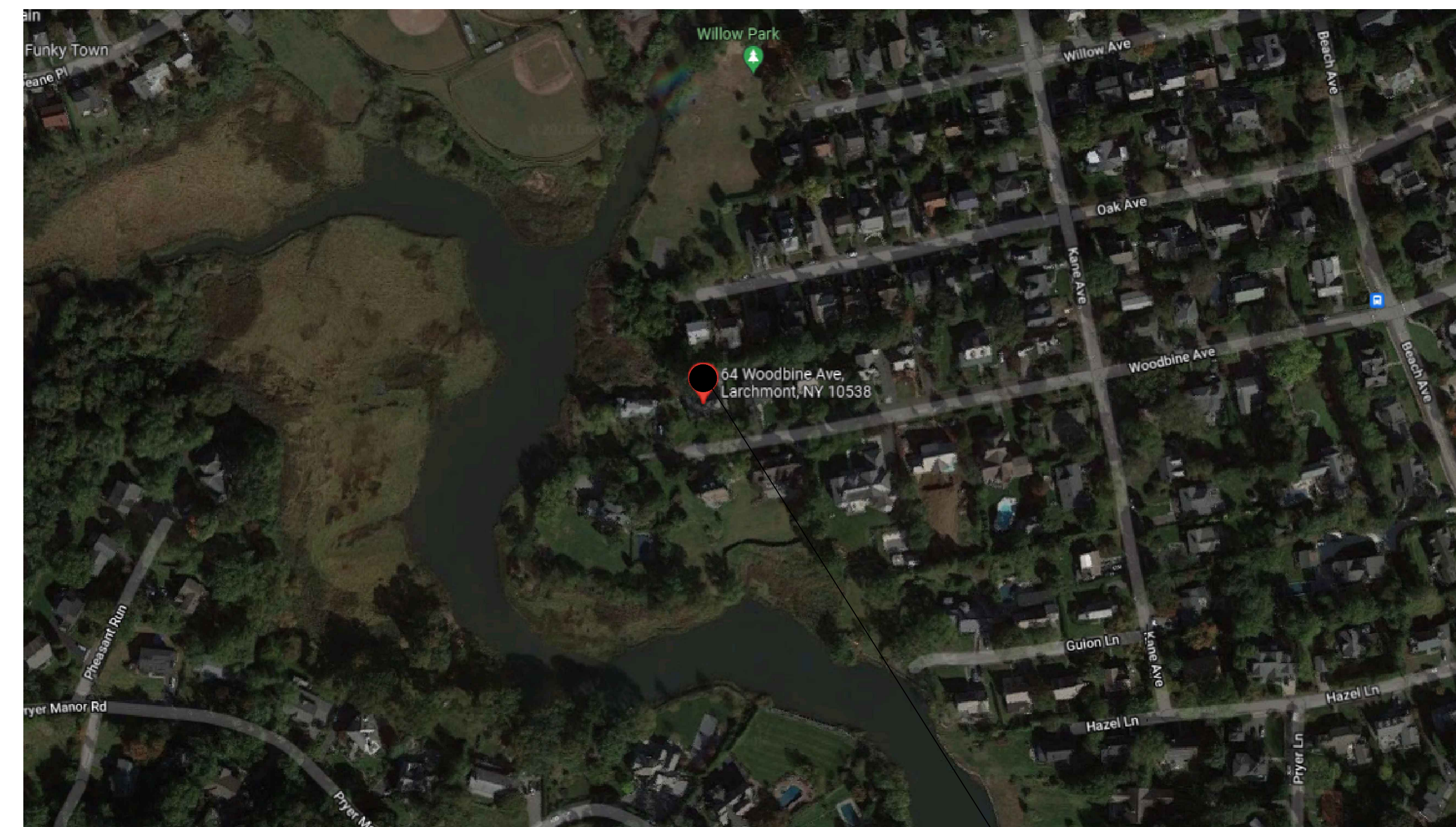


11 - 51 OAK AVE



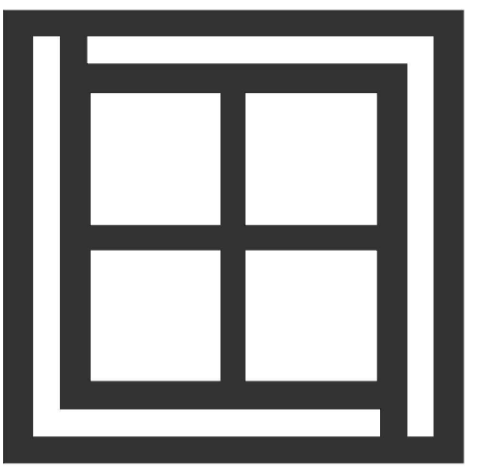
▲ ADJACENT PROPERTIES
N.T.S.

▲ LOCATION AND DIRECTION OF PHOTOGRAPH



▲ AERIAL MAP
N.T.S.

— SITE LOCATION



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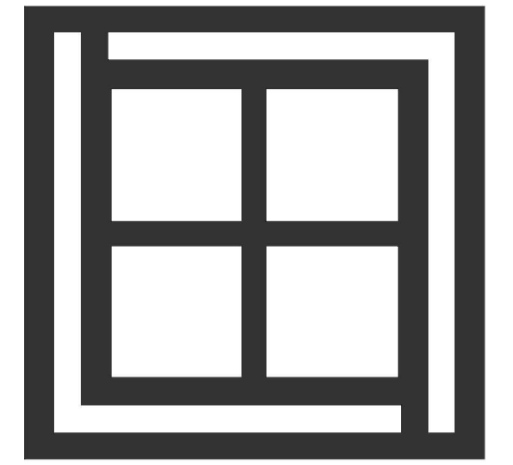
NOTES



SHEET DESCRIPTION:
**ADJACENT
PROPERTIES PLAN**

SHEET No.
A-0.0

PHASE:
VILLAGE BOARDS



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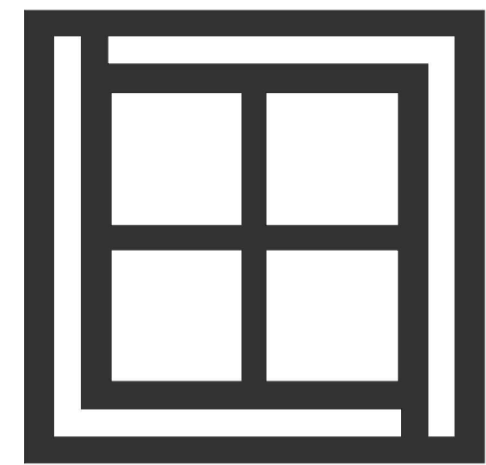
NEIGHBORING PROPERTIES DIAGRAM

SHEET No.
A-0.1

PHASE:
VILLAGE BOARDS



1 AERIAL MAP
N.T.S.



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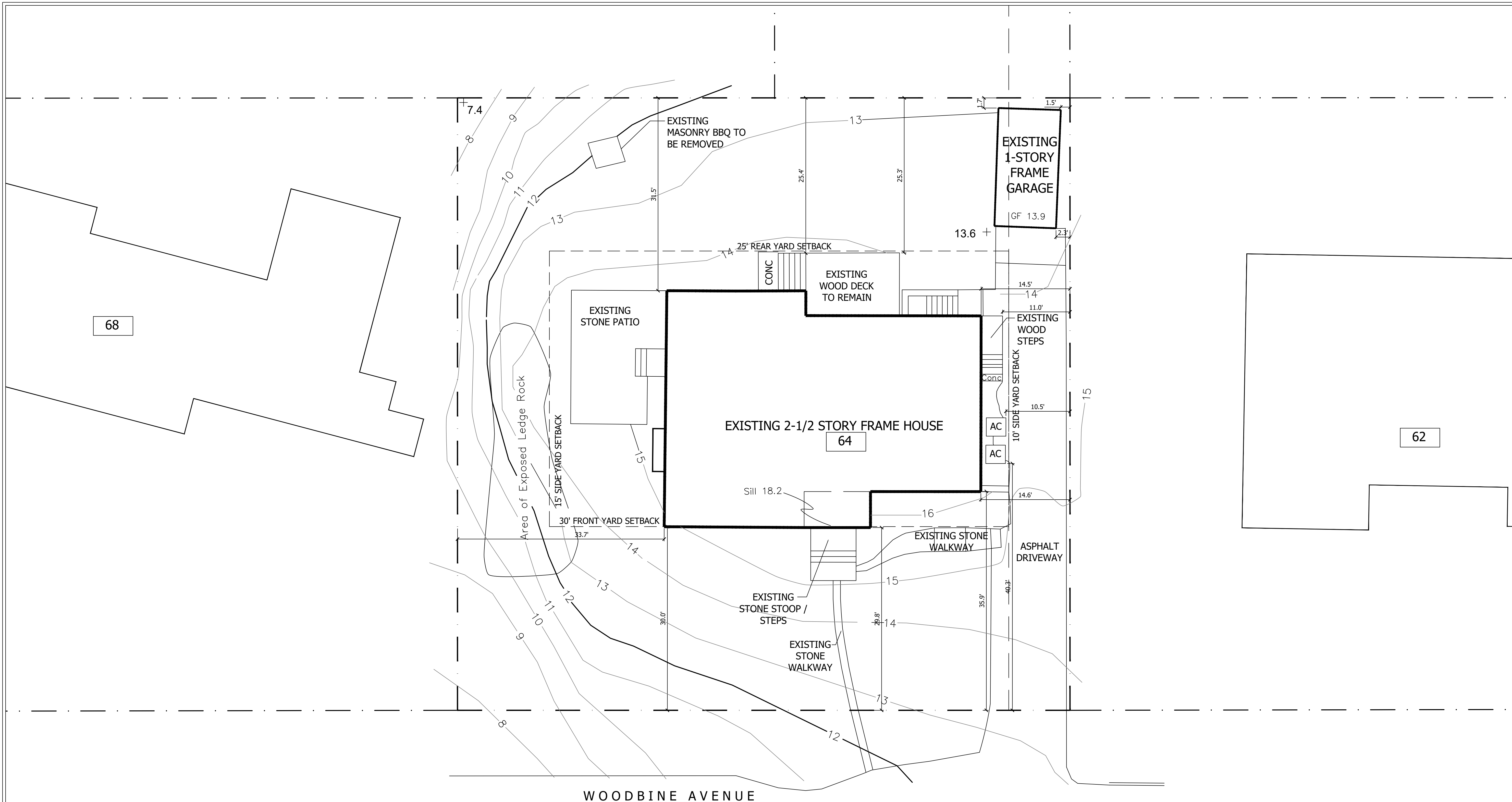
**EXISTING SITE
PLAN**

SHEET No.

A-1.0

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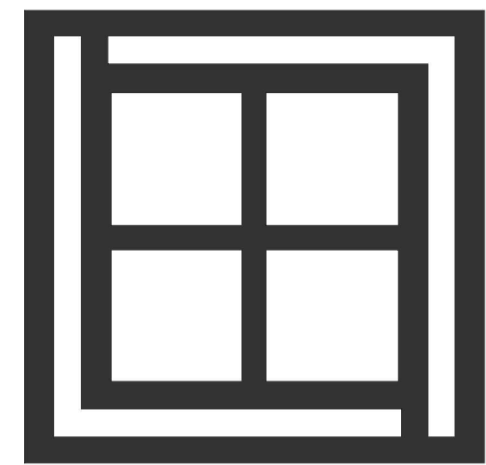
VILLAGE BOARDS



1 EXISTING SITE PLAN
SCALE : 1 / 8" = 1'-0"

68

62



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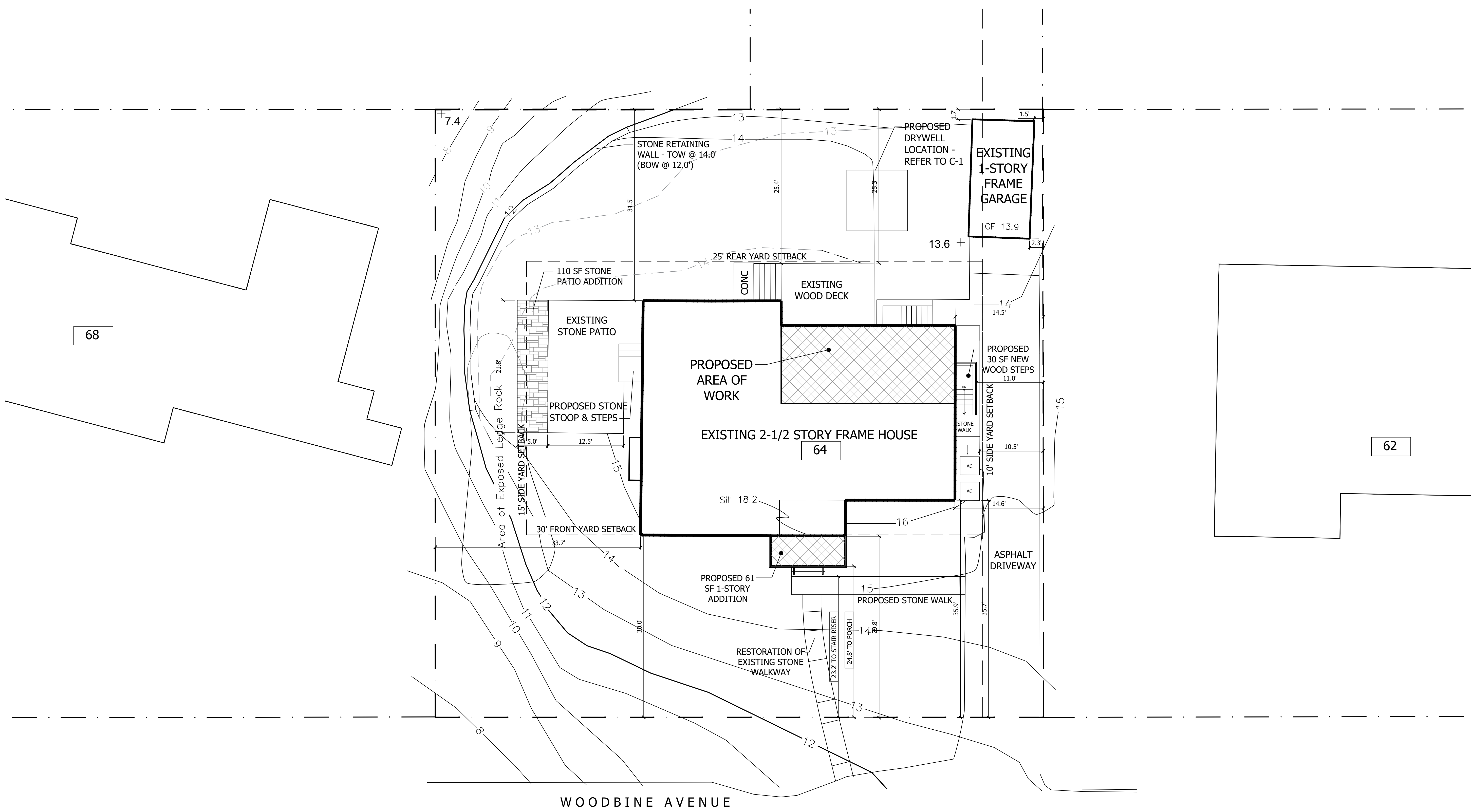
PROPOSED SITE PLAN

SHEET No.

A-1.1

PHASE:

VILLAGE BOARDS

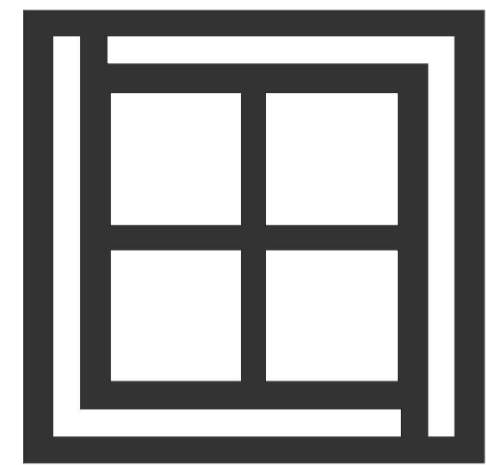


1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

68

62

WOODBINE AVENUE



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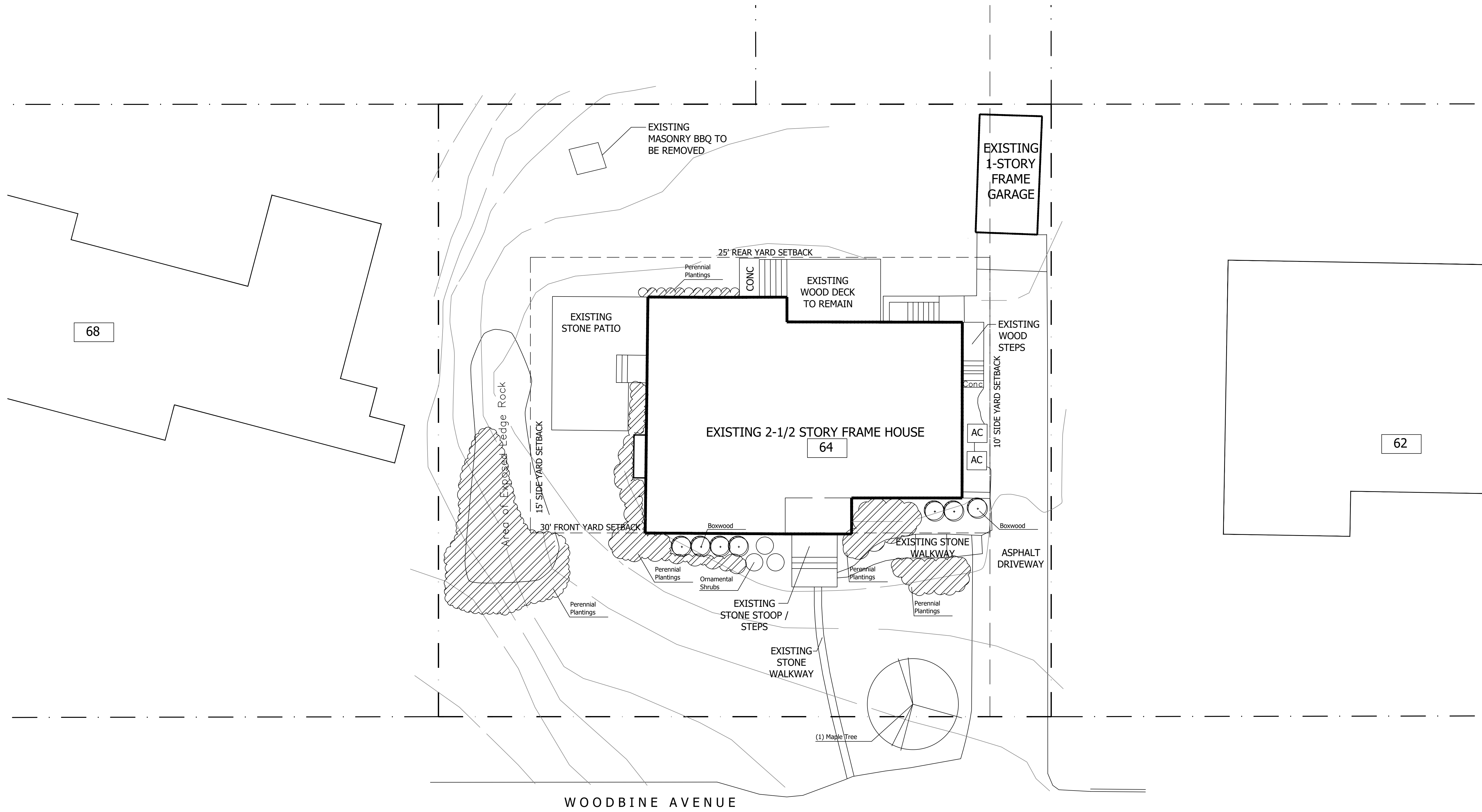
EXISTING LANDSCAPE PLAN

SHEET No.

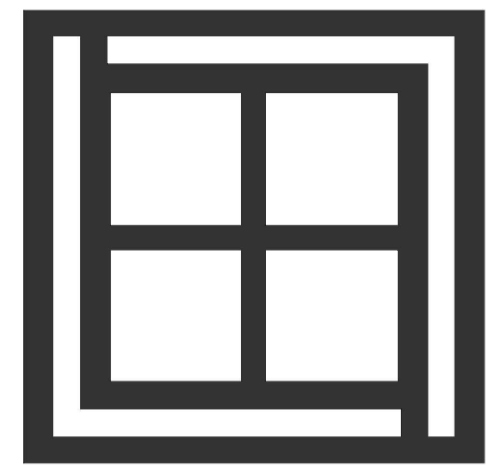
A-1.2

PHASE:

VILLAGE BOARDS



1 EXISTING LANDSCAPE PLAN
SCALE : 1 / 8" = 1'-0"



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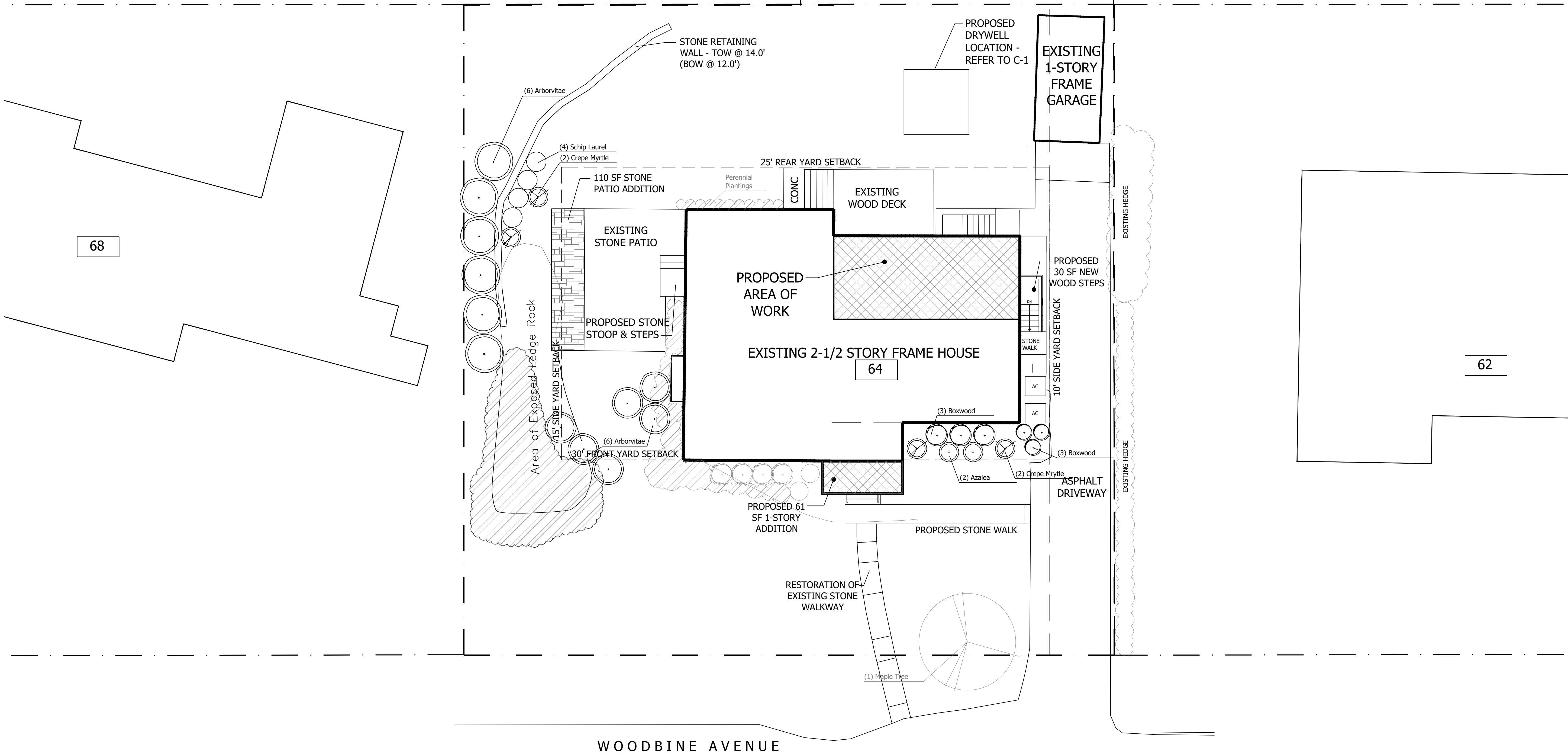
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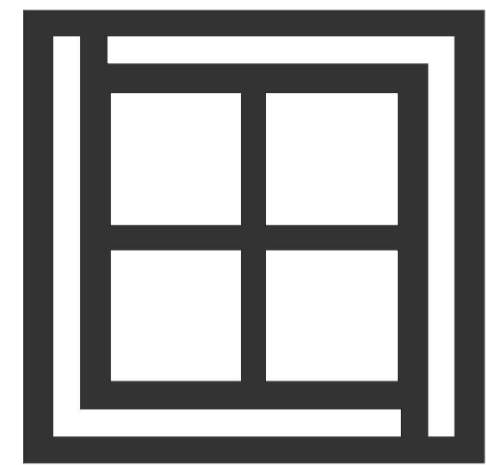
A-1.3

PHASE:

VILLAGE BOARDS



3 PROPOSED LANDSCAPE PLAN
SCALE : 1 / 8" = 1'-0"



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ISSUED / REVISIONS	
DESCRIPTION	DATE
ISSUED FOR PRE-SUBMISSION CONFERENCE	05/14/2021
PLANNING CONSULTANT	10/22/2021
PLANNING BOARD MEETING	12/14/2021
PLANNING BOARD MEETING #2	01/04/2022
ZONING BOARD MEETING 03/02/2022	01/04/2022
ARCHITECTURAL REVIEW BOARD MEETING 03/30/2022	03/17/2022

MERL-WEITZ RESIDENCE

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New York 10538

NOTES



SHEET DESCRIPTION:

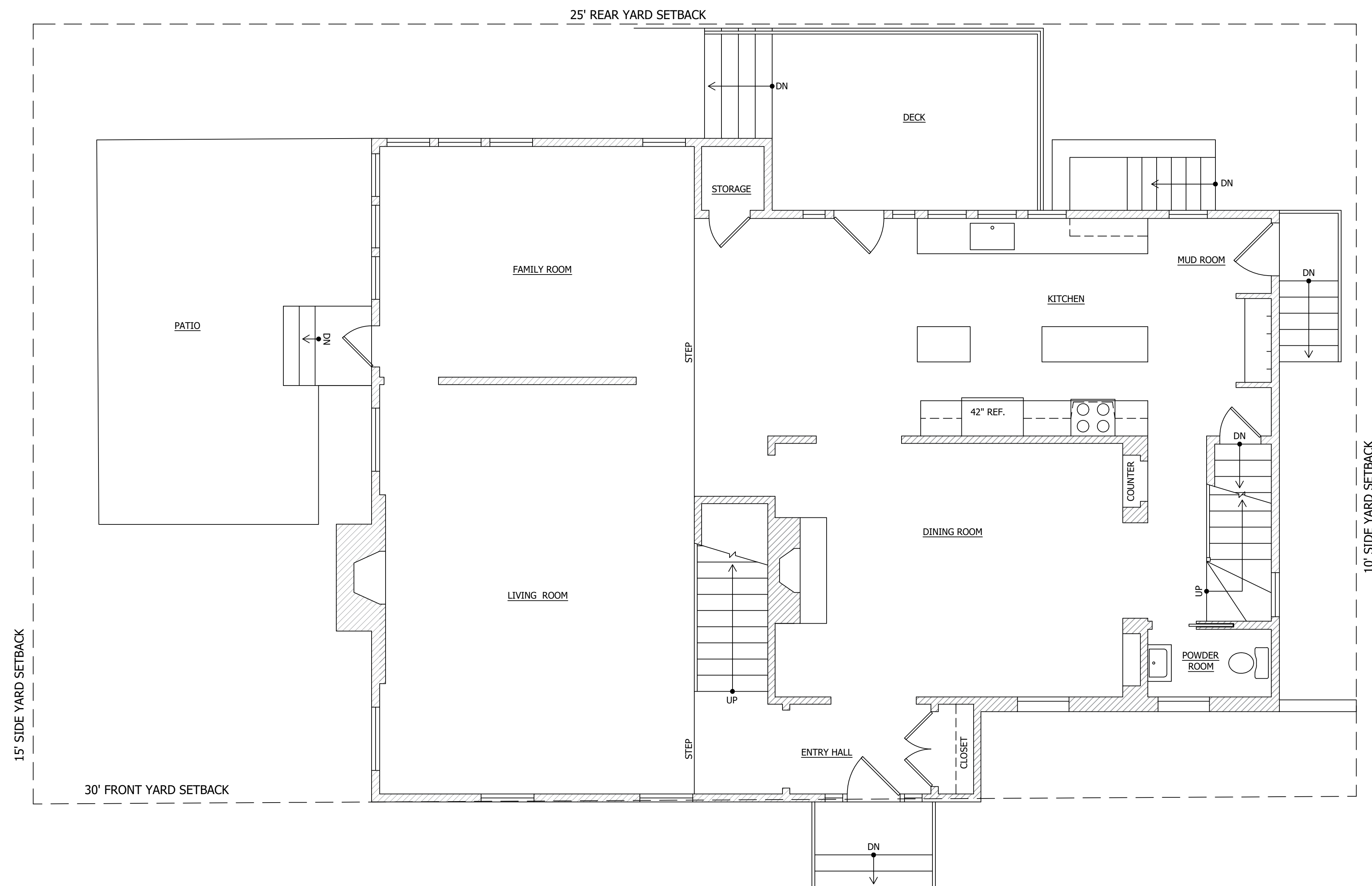
**EXISTING FIRST
FLOOR PLAN**

SHEET No.

A-2

PHASE:

VILLAGE BOARDS

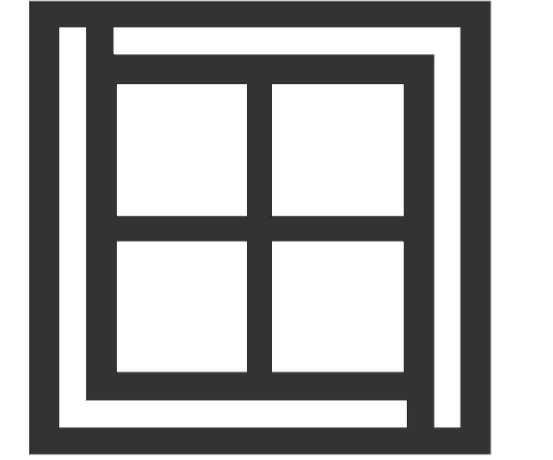


1 EXISTING FIRST FLOOR PLAN

SCALE : 1 / 4" = 1'-0"

- GENERAL NOTES**
1. PROVIDE (2)2X10 HEADERS AT ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED.
 2. FRAMING PLANS FOR ILLUSTRATIVE PURPOSES ONLY. NOT ALL MEMBERS SHOWN.
 3. PROVIDE 3" MINIMUM BEARING AT ALL BEAMS.
 4. PROVIDE 1 1/2" MINIMUM BEARING AT ALL HEADERS.
 5. ALL EXTERIOR WALLS TO BE 2X6 STUDS AT 16" O.C. (2X4 AT INTERIOR WALLS U.N.O.)
 6. NOTCH COLUMNS AT EXTERIOR BEAMS (OR PROVIDE SIMPSON CONNECTORS).
 7. MAINTAIN 6"-8" MINIMUM HEAD CLEARANCE AT ALL STAIRS
 8. FIRE CAULK AT ALL FLOOR PENETRATIONS
 9. ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR #2 (OR BETTER).
 10. PROVIDE SIMPSON CONNECTORS AS REQUIRED AT BEAMS/COLUMNS
 11. SISTER 2X6'S TO EXISTING CEILING JOISTS AS REQUIRED TO LEVEL CEILINGS
 12. PROVIDE 3.5" SOUND ATTENUATION BATT INSULATION AROUND ALL BATHROOMS AND LAUNDRY ROOMS

- FLOOR PLAN SYMBOL LEGEND**
- (X) DOOR SYMBOL-SEE DOOR SCHEDULE
 - (X) WINDOW SYMBOL-SEE WINDOW SCHEDULE
 - EXISTING CONSTRUCTION
 - NEW WOOD FRAMED WALLS
2X4 @ 16" O.C. @ INTERIOR WALLS
2X6 @ 16" O.C. @ EXTERIOR WALLS (R-20)
(UNLESS NOTED OTHERWISE)
 - FLOOR DIFFUSER
(FLUSH WOOD DIFFUSER TO MATCH FLOOR FINISH)
 - COLUMN
POINT LOAD FROM ABOVE
 - FLOOR DRAIN



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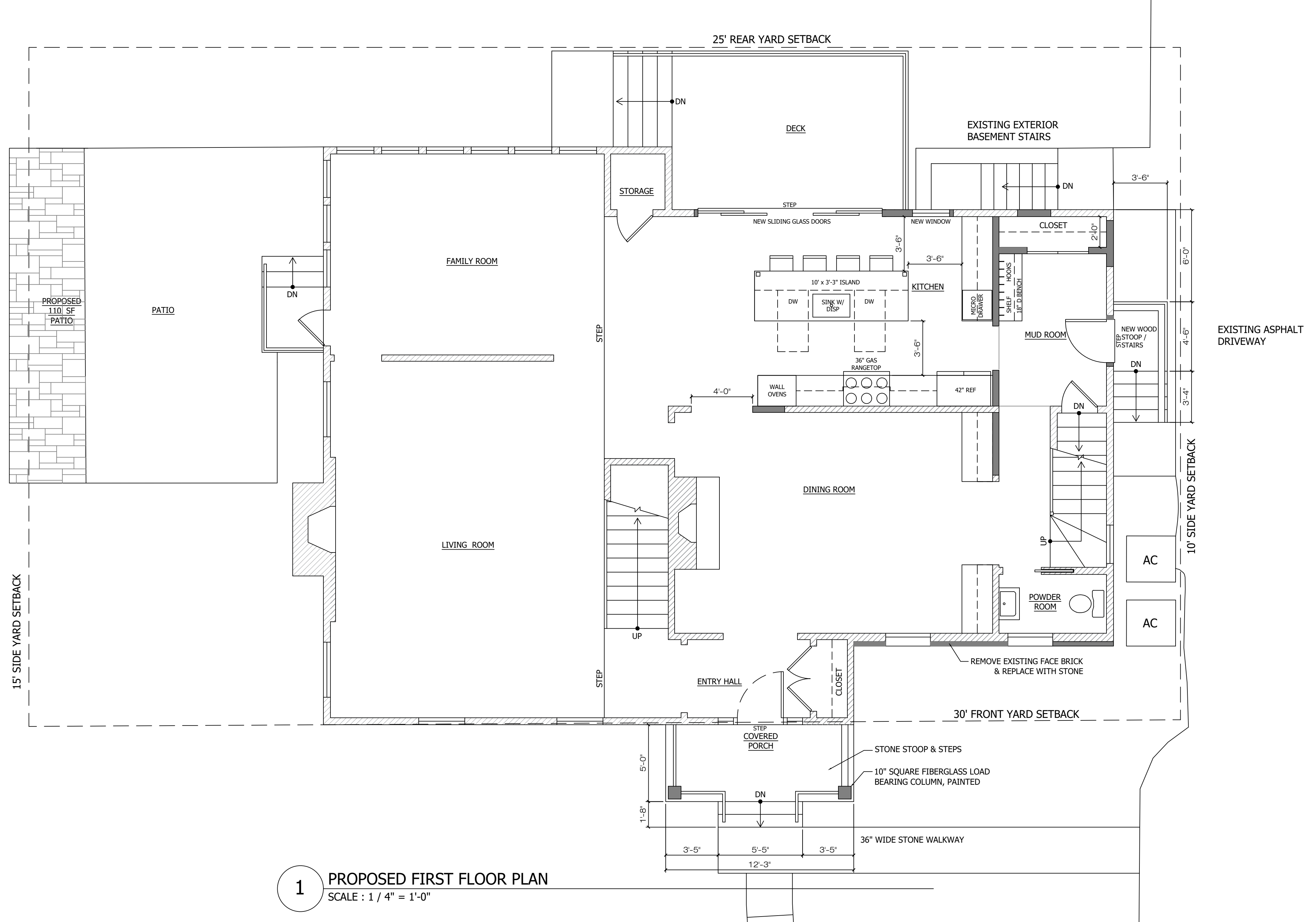
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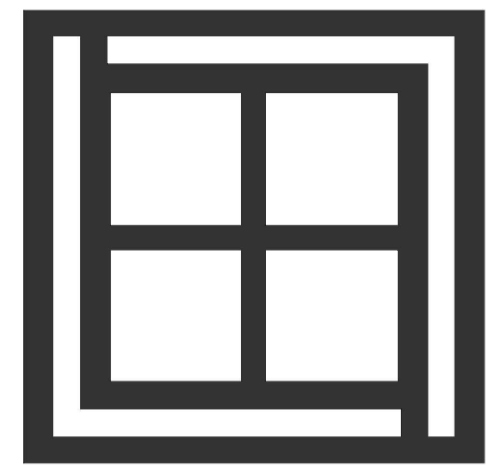
SHEET DESCRIPTION:
PROPOSED FIRST FLOOR PLAN

SHEET No.
A-3

PHASE:
VILLAGE BOARDS



1 PROPOSED FIRST FLOOR PLAN
SCALE : 1 / 4" = 1'-0"



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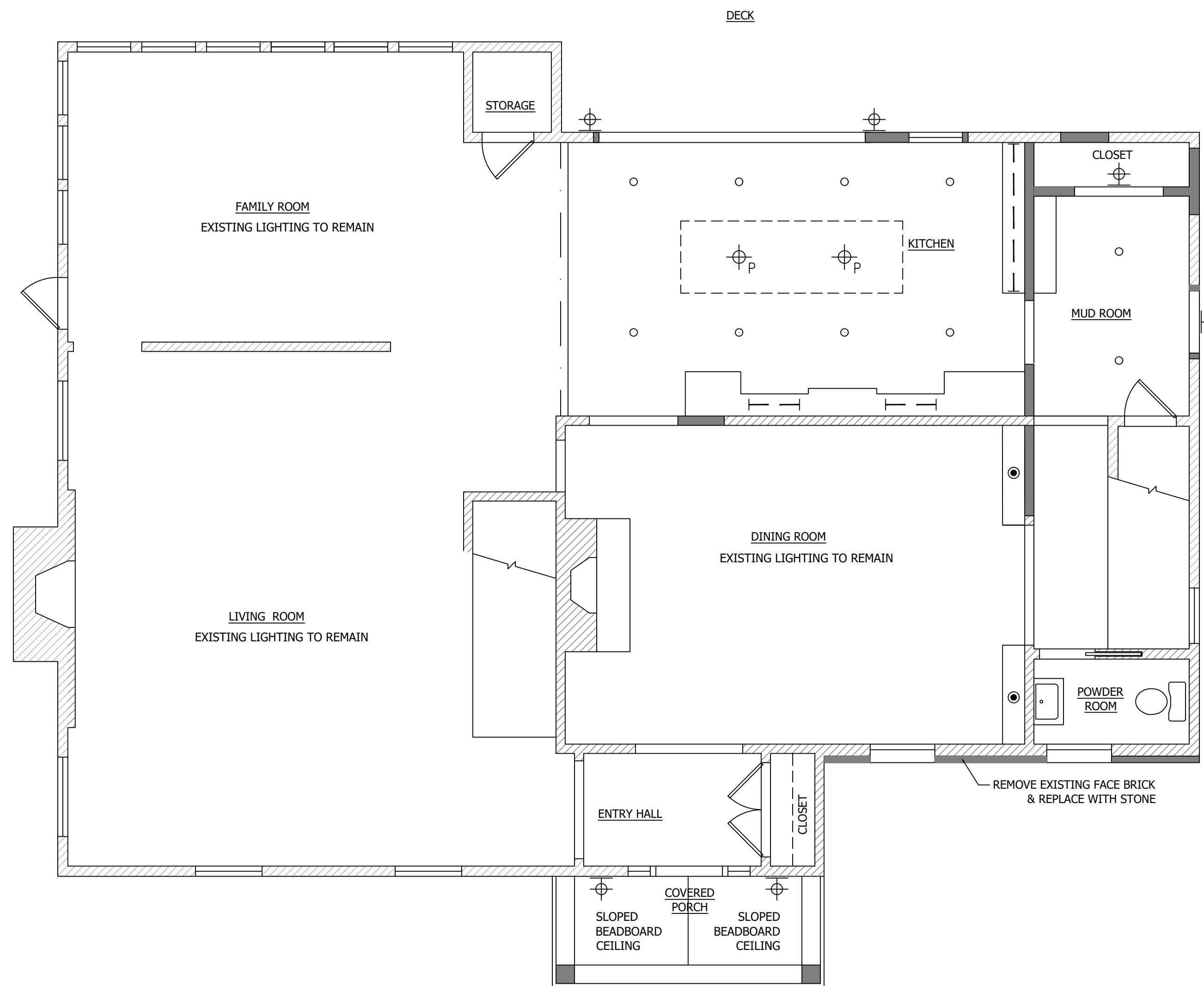


SHEET DESCRIPTION:
**PROPOSED FIRST
FLOOR RCP/ELEC
PLAN**

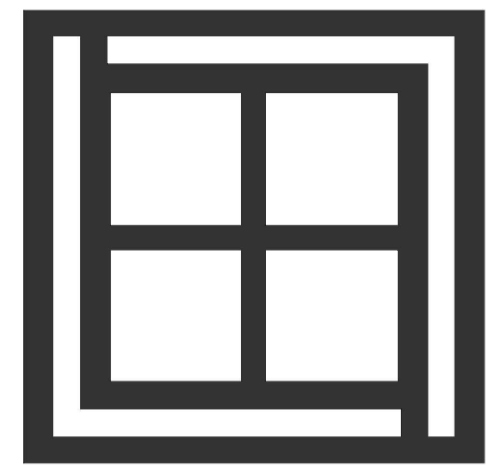
SHEET No.
A-4

PHASE:
VILLAGE BOARDS

ELECTRICAL LEGEND		GENERAL LIGHTING / ELECTRICAL NOTES	
⊕ _P CEILING MOUNTED PENDANT FIXTURE * VERIFY LOCATION WITH OWNER	⊕ _D DECORA LIGHT SWITCH	1. CENTER LIGHTS AND FAN/LIGHT J-BOXES IN ROOMS. 2. CENTER OUTLETS ON WALLS OR UNDER WINDOWS. 3. PROVIDE INDEPENDENT CIRCUITS (OR SUB-PANEL) AS REQUIRED BY CODE. 4. SPACE DOWNLIGHTS EQUALLY ALONG LINE OF DOWNLIGHTS. 5. HARD WIRE, BATTERY BACKUP AND INTERCONNECTED SMOKE/CARBON MONOXIDE DETECTORS. 6. PROVIDE SMOKE AND CARBON MONOXIDE DETECTORS ON EACH FLOOR. 7. PROVIDE SMOKE DETECTORS IN ALL BEDROOMS. 8. PROVIDE NEW GFCI OUTLETS AT ALL WET LOCATIONS. 9. OWNER TO PROVIDE ALL SURFACE AND PENDANT MOUNTED FIXTURES (SEE * ABOVE) AND TO BE INSTALLED BY THE CONTRACTOR. 10. PROVIDE SAMPLE OF DIMMER AND DOWNLIGHT TO OWNER PRIOR TO INSTALLATION. 11. SEE FLOOR PLANS FOR KITCHEN APPLIANCE LOCATIONS. 12. PROVIDE WEATHERPROOF GFI OUTLETS AT ALL EXTERIOR LOCATIONS. 13. ALL OUTLETS, SWITCHES, ETC TO BE DECORA STYLE. 14. FIRE CAULK ALL FLOOR PENETRATIONS. 15. PROVIDE 8 DIMMERS FOR OWNERS DISCRETION 16. COORDINATE TIVO CONNECTIVITY WITH OWNER DURING CONSTRUCTION. INTERCONNECT TWO TIVO BOXES WITH 3 INDEPENDENT LOCATIONS 17. NOT LESS THAN 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS. 18. REPLACE ALL HVAC REGISTERS ON ALL FLOORS 19. REMOVE ALL SURFACE MOUNTED PHONE, ALARM AND CABLE TV LINES 20. PROVIDE IC HOUSING AT ALL FIXTURES IN CONTACT WITH INSULATION.	
⊕ _F CEILING MOUNTED FAN OR FAN/LIGHT * VERIFY LOCATION WITH OWNER	⊕ _D DIMMER LIGHT SWITCH		
⊕ _L LANDSCAPE LIGHT *	⊕ ₃ DECORA LIGHT SWITCH, 3-WAY		
⊕ CEILING MOUNTED LIGHT *	⊕ _u DECORA DUPLEX OUTLET W/UBS PORT		
⊕ WALL SCONCE *	⊕ DECORA DUPLEX OUTLET		
○ 4" RECESSED LED DOWNLIGHT	⊕ _{GFCI} DECORA GFCI DUPLEX OUTLET		
⊕ CATV OUTLET-2 HDMI/2 COAXIAL	⊕ _{XGFCI} EXTERIOR WEATHERPROOF DECORA GFCI DUPLEX OUTLET		
⊕ NEW SUBPANEL IF REQUIRED BY LOADS	⊕ EXHAUST FAN-VENT TO OUTSIDE		
⊕ PHONE JACK	⊕ SMOKE DETECTOR		
⊕ MOTION DETECT	⊕ CARBON MONOXIDE DETECTOR		
⊕ 2" LED CABINET LIGHT	⊕ UNDERCABINET LED LIGHTING		
⊕ GARAGE DOOR OPENER	⊕ SUPPLY GRILL		
⊕ RECESSED LED LIGHT *	⊕ RETURN GRILL		
⊕ _R REPLACE EXISTING LIGHT FIXTURE *	⊕ THERMOSTAT		
	⊕ ALARM PANEL		
	⊕ SPEAKER PROVIDED BY OWNER INSTALLED/WIRED BY GC		
* INDICATES FIXTURE PROVIDED BY OWNER			



1 PROPOSED FIRST FLOOR REFLECTED CEILING & ELECTRICAL PLAN
SCALE : 1 / 4" = 1'-0"



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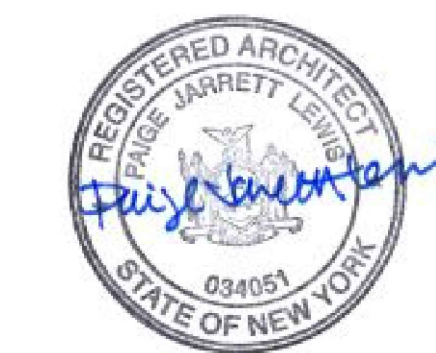
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SHEET DESCRIPTION:

**EXISTING &
PROPOSED FRONT
ELEVATION**

SHEET NO.

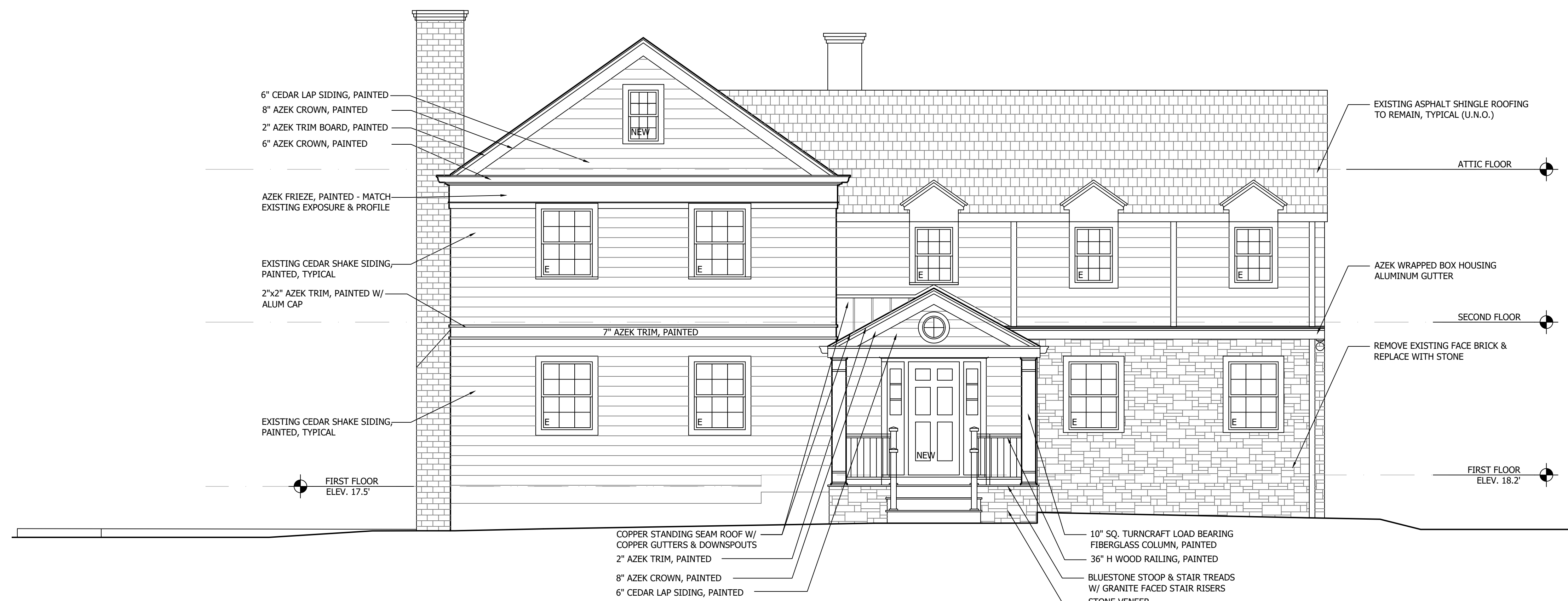
A-6

PHASE:

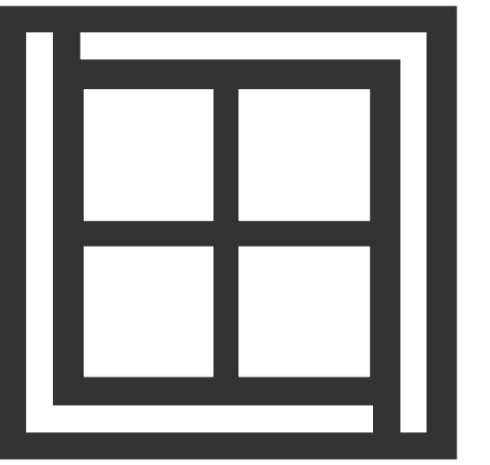
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1 EXISTING FRONT ELEVATION
SCALE : 1 / 8" = 1'-0"



3 PROPOSED FRONT ELEVATION
SCALE : 1 / 4" = 1'-0"



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SHEET DESCRIPTION:
**EXISTING & PROPOSED
RIGHT & LEFT SIDE
ELEVATIONS**

SHEET No.

A-7

PHASE:
VILLAGE BOARDS



1 EXISTING LEFT SIDE ELEVATION
SCALE : 1 / 4" = 1'-0"



3 EXISTING RIGHT SIDE ELEVATION
SCALE : 1 / 4" = 1'-0"



2 PROPOSED LEFT SIDE ELEVATION
SCALE : 1 / 4" = 1'-0"



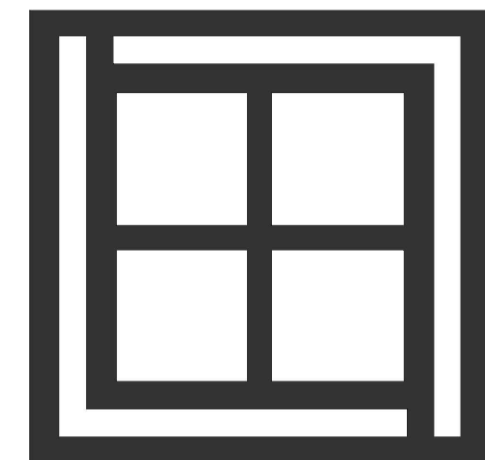
4 PROPOSED RIGHT SIDE ELEVATION
SCALE : 1 / 4" = 1'-0"



1 EXISTING REAR ELEVATION
SCALE : 1 / 4" = 1'-0"



2 PROPOSED REAR ELEVATION
SCALE : 1 / 4" = 1'-0"



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SHEET DESCRIPTION:
**EXISTING &
PROPOSED REAR
ELEVATION**

SHEET No.

A-8

PHASE:
VILLAGE BOARDS