



Village of Larchmont villageoflarchmont.org

Building Department Architectural Review Board Application
120 Larchmont Avenue, Larchmont, New York 10538 Phone (914) 834-4349

ARCHITECTURAL REVIEW BOARD APPLICATION

TO BE COMPLETED BY APPLICANT

Application date: 2.10.22		Application Fee: \$150.00
Please fill in dates or N/A (Not Applicable) Note: Dates must be on plans submitted Board Approval Date: <input type="checkbox"/> Zoning N/A	Please fill in dates or N/A (Not Applicable) Note: Dates must be on plans submitted Board Approval DATE: <input type="checkbox"/> Planning N/A	Please fill in dates or N/A (Not Applicable) Note: Dates must be on plans submitted Board Approval DATE: <input type="checkbox"/> ARB

SITE IDENTIFICATION INFORMATION

Project Address:
No. **67** Street **Beach Avenue**
Village of Larchmont Tax Map Designation:
Section **7** Block **715** Lot(s) **74**
Business Name:

Description of Project: **Adding a 1/2 story over the existing footprint of the building to include 2 bedrooms, a bath and Laundry Room**

APPLICANT/OWNER INFORMATION

Contractor (Signage Company):	Phone #: Fax#:	Email:
Owners Address: No. 67 Street: Beach Avenue Town: Larchmont State: NY Zip: 10538	Applicant (If different than owner): Lisa Mockler Taylor Architects Phone #: Fax#: 703 253 1725	Email: lisa@mocklertaylor.com
Applicant Address (If different than owner): No. 10 Street: Saugahick Ave Town: Westport State: CT Zip: 06880	Representatives & Title: Rory Elliott Phone #: Fax#: 646 352 3029	Email: laura_mutton@yahoo.
Address: No. 67 Street: Beach Ave Town: Larchmont State: CT Zip: 10538 Conn. CT		

AFFIDAVIT OF OWNERSHIP

State of New York
County of Westchester

I, Laura Mutton being duly sworn;
PRINT NAME

Deposits and states; that Laura Mutton + Rory Elliott is the Owner in fee of the premises to which this Application applies; and that the statements made here are true to the best of the Applicant's knowledge and belief, and that the work will be performed in the manner set forth in the Application filled therewith, and in accordance with all applicable laws, ordinances and regulations.

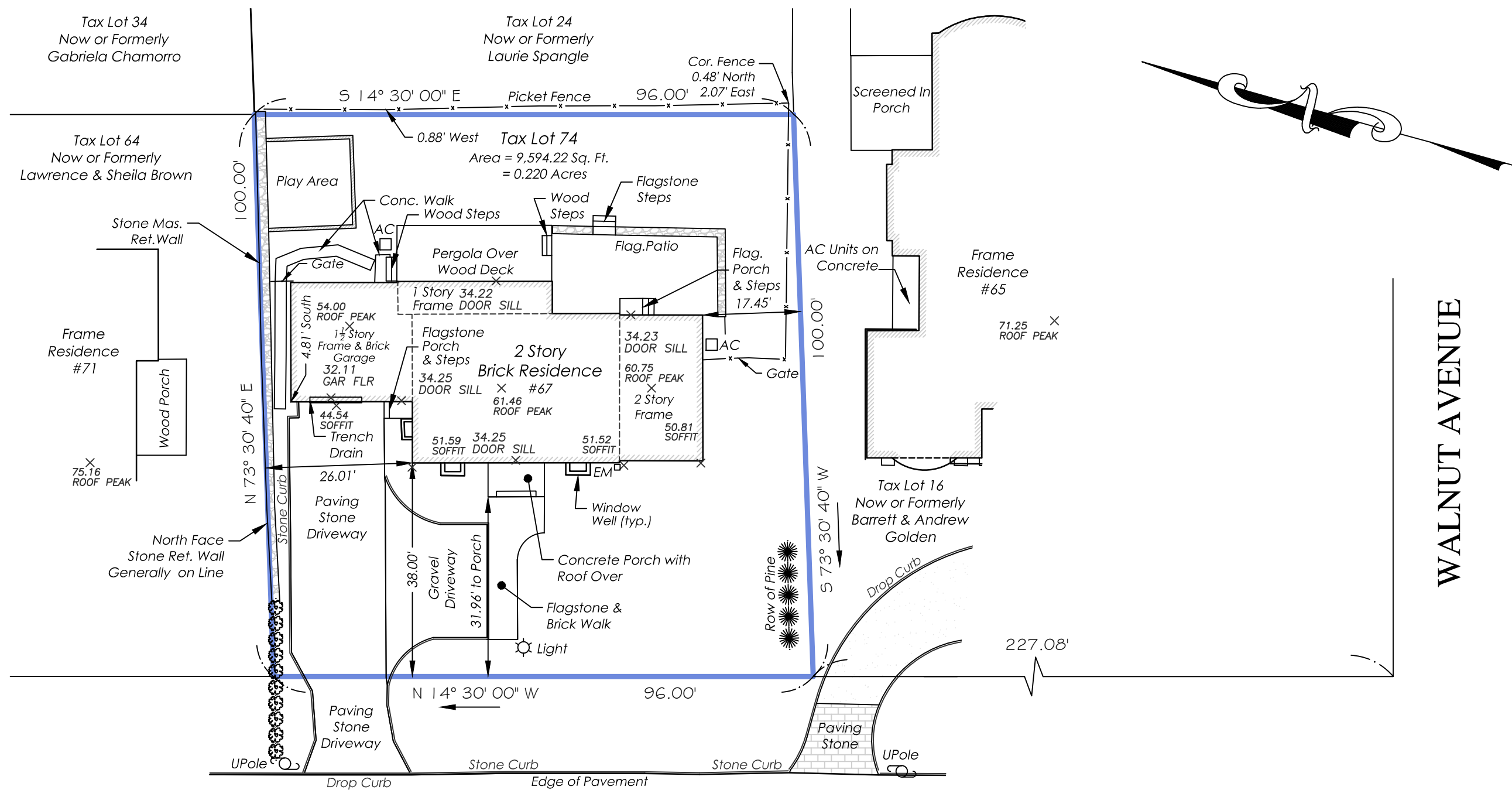
Signature

Sworn to before me this 9 day of Feb 20 22

OUSMANE DIOP
Notary Public State of New York
No. 01D16392371
Qualified in Westchester County
My Commission Expires May 23, 2023

NOTARY SEAL

NOTARY



BEACH AVENUE

Only copies from the original of this survey marked with an original of the Land Surveyors embossed seal or red colored seal shall be considered to be true, valid copies.

Said certifications shall run only to the person for whom this survey is prepared and on his/her behalf to the title company, governmental agency and lending institutions listed hereon. Certifications are not transferable to additional institutions or subsequent owners.

Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating. Additional underground utilities are not shown or certified. Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

Elevations shown hereon generally in accordance with North American Vertical Datum 88.

Surveyed in accordance with Deed Control Number 610194181.

Premises shown hereon designated on the Town of Mamaroneck Tax Maps as: Section 7, Block 15, Lot 74.

Property Address: 67 Beach Avenue
Larchmont, NY 10538

EXISTING IMPERVIOUS SURFACES	
BUILDINGS	1,795.58 S.F.
DRIVEWAY*	848.24 S.F.
DECKS, PATIOS, WALKS, PADS	1,034.66 S.F.
WALLS	236.90 S.F.
EXISTING IMPERVIOUS SURFACE	3,915.38 S.F.
TOTAL LOT AREA	9,594.22 S.F.
EXISTING % IMPERVIOUS SURFACE	40.81 %

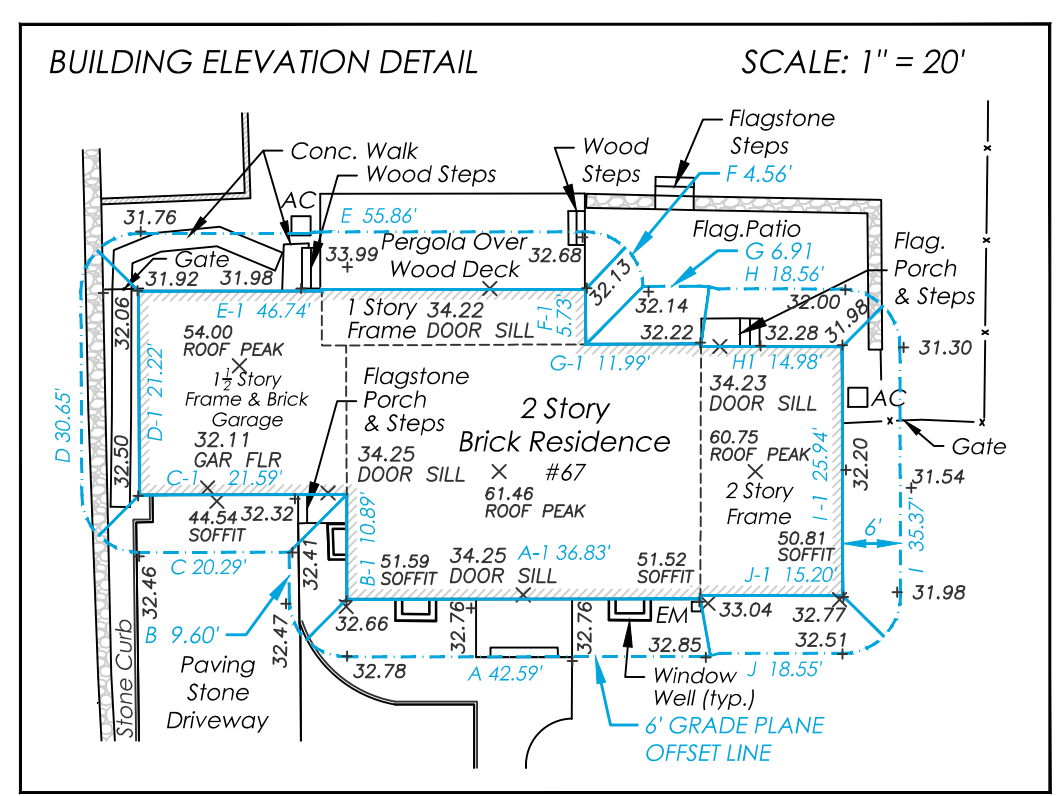
* GRAVEL DRIVEWAY AREA NOT INCLUDED

GRADE PLANE CALCULATIONS					
6' O/S LINE		LOWEST ELEVATION WITHIN 6' ENVELOPE	LENGTH X ELEVATION	PERIMETER OF BUILDING	
SIDE	LENGTH			SIDE	LENGTH
A	42.59'	32.66	1,390.98	A-1	36.83'
B	9.60'	32.41	311.13	B-1	10.89'
C	20.29'	32.32	655.77	C-1	21.59'
D	30.65'	32.06	982.63	D-1	21.22'
E	55.86'	31.76	1,774.11	E-1	46.74'
F	4.56'	32.13	146.51	F-1	5.73'
G	6.91'	32.14	222.08	G-1	11.99'
H	18.56'	31.98	593.54	H-1	14.98'
I	35.37'	31.30	1,107.08	I-1	25.94'
J	18.55'	32.51	603.06	J-1	15.20'
TOTAL	242.94'		7,786.89		211.11'

TOTAL COL.3 $7,786.89 \div$ TOTAL COL.1 $242.94' =$ GRADE PLANE 32.05

FIRST FLOOR ELEV. 34.25 - GRADE PLANE $32.05 =$ DIFFERENCE 2.20 FT.

HEIGHT ABOVE GRADE PLANE = 2.20 FT.



**SURVEY OF PROPERTY
PREPARED FOR
RORY ELLIOTT
AND
LAURA MUTTON**
SITUATE IN THE
VILLAGE OF LARCHMONT
TOWN OF MAMARONECK
WESTCHESTER COUNTY, NEW YORK
SCALE: 1" = 20'
GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

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IS A VIOLATION OF APPLICABLE LAWS.



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394 BEDFORD ROAD • PLEASANTVILLE • NY 10570
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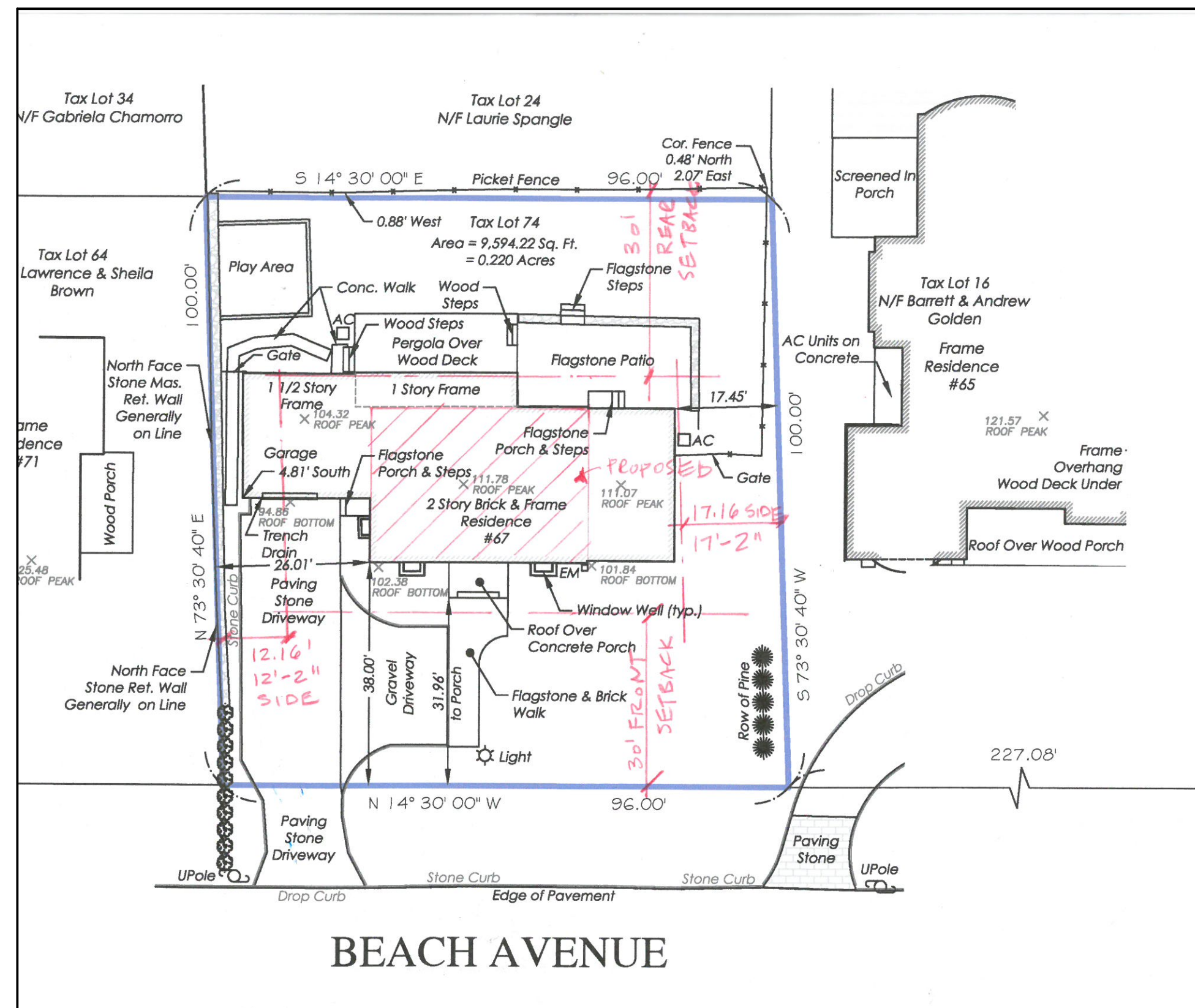
Surveyed: June 30, 2021
Map Prepared: July 2, 2021
Map Revised: October 5, 2021 to show additional offset only
Map Revised: November 9, 2021 to show average grade calcs

By: *Daniel T. Merritts*
New York State Licensed Land Surveyor No. 050604

Project: 21-274	Reference: 18-185
Field Survey By: AN/SH	Drawn By: CMP / DA
Project Manager: DM	Checked By: DM

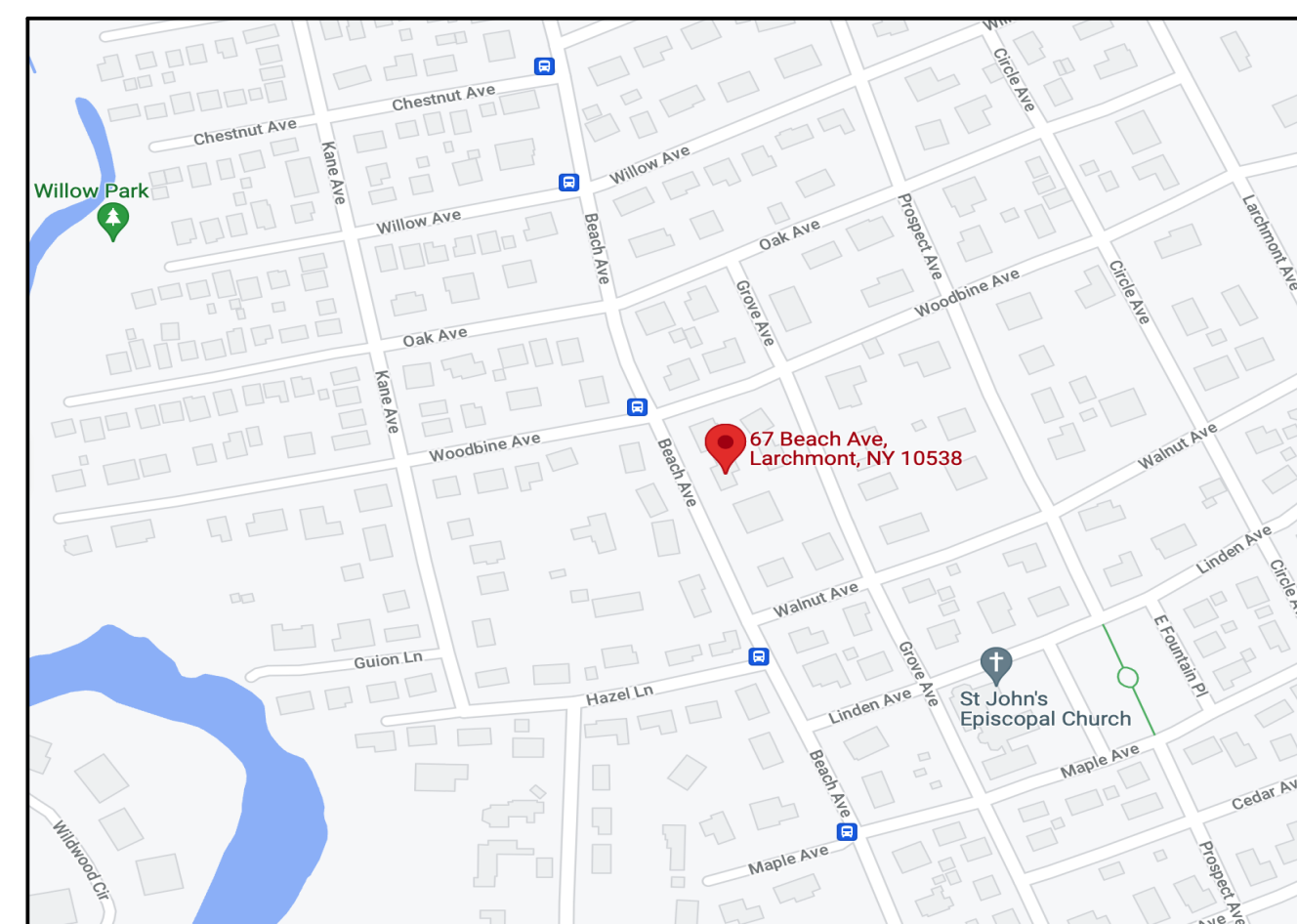
ZONING TABLE

ADDRESS: 67 BEACH AVENUE, LARCHMONT, NY 10538		SECTION/BLOCK/LOT SECTION 7, BLOCK 715, LOT 74		PROPERTY ZONED R12.5	
	REQUIRED / ALLOWABLE	EXISTING	PROPOSED	CODE REF	NOTES
MIN LOT AREA (SQ FT)	12,500 sq ft	9,594.22 sq ft	NO CHANGE	§ 381- ATTACHMENT 2	EXISTING NON-CONFORMING
MIN LOT WIDTH (FT)	90'	96'	NO CHANGE	§ 381- ATTACHMENT 2	
TOTAL LOT COVERAGE (SQ FT)	4,356 sq ft	3,915 sq ft	NO CHANGE	§ 381-38-(A)(2)	
TOTAL LOT COVERAGE (%)	45.40%	40.81%	NO CHANGE	§ 381-38-(A)(2)	[MAXIMUM LOT COVERAGE = 0.5 - (0.01 X ((9,594.22 - 5,000) ÷ 1,000))] = 0.454
MAX BUILDING COVERAGE (%)	22.5%	18.72%	NO CHANGE	§ 381- ATTACHMENT 2	1,796 / 9,594.22 = 0.1872
MIN FRONT YARD (FT)	30'	31.96'	NO CHANGE	§ 381- ATTACHMENT 2	
MIN ONE SIDE YARD (FT)	12.16'	+/- 4.83'	NO CHANGE	§ 381-37-(D)(4)	PER § 381-37-(D)(4) GROSS RESIDENTIAL FLOOR AREA IN EXCESS OF 4,500 SQUARE FEET, BOTH MINIMUM SIDE YARD SETBACKS SHALL BE INCREASED BY 1/2 FOOT FOR EVERY 100 SQUARE FEET OVER 4,500 SQUARE FEET OF GROSS RESIDENTIAL FLOOR AREA. $\lfloor \lfloor (4,932 - 4,500/100) \times 0.5 \rfloor + 10 \rfloor = 12.16$ FT
MIN SECOND SIDE (FT)	17.16'	17.45'	NO CHANGE	§ 381-37-(D)(4)	PER § 381-37-(D)(4) GROSS RESIDENTIAL FLOOR AREA IN EXCESS OF 4,500 SQUARE FEET, BOTH MINIMUM SIDE YARD SETBACKS SHALL BE INCREASED BY 1/2 FOOT FOR EVERY 100 SQUARE FEET OVER 4,500 SQUARE FEET OF GROSS RESIDENTIAL FLOOR AREA. $\lfloor \lfloor (4,932 - 4,500/100) \times 0.5 \rfloor + 15 \rfloor = 17.16$ FT
MIN TOTAL SIDE YARDS (FT)	29.32'	+/- 22.28'	NO CHANGE	§ 381-37-(D)(4)	EXISTING NON-CONFORMING; SEE NOTE ABOVE
MIN REAR YARD (FT)	30'	+/- 29.67'	NO CHANGE	§ 381- ATTACHMENT 2	EXISTING NON-CONFORMING
MAX HEIGHT (STORIES)	2 1/2	2	2 1/2	§ 381 ATTACHMENT 2 / § 381-7	
MAX HEIGHT (FT)	30'	24'-3"	REAR '30'	§ 381 ATTACHMENT 2 / § 381-7	* TOP OF PROPOSED SHED DORMER IS 30 FEET ABOVE AVERAGE GRADE. PROPOSED MEAN HEIGHT IS 26'-8" ABOVE AVERAGE GRADE.
FAR CALCULATION:					
FAR - FIRST FLOOR (SQ FT)		1,972 sq ft	1,972 sq ft		
FAR - SECOND FLOOR (SQ FT)		1,722 sq ft	1,722 sq ft		
FAR - ATTIC (SQ FT)		486 sq ft	859 sq ft		* HALF STORY = GROSS FLOOR AREA MEASURING LESS THAN 50% OF THE AREA OF THE FLOOR IMMEDIATELY BENEATH. HENCE 1,722 X 0.5 = 861 SF
FAR - BASEMENT (SQ FT)		379 sq ft	379 sq ft	§ 381-37-(C)(3)	* 600 SF EXEMPTION FROM BASEMENT GROSS FLOOR AREA PER 381-37-C(3). 979 SF - 600 SF = 379 SF
FAR - TOTAL (SQ FT)		5,066 sq ft	4,599 sq ft	§ 381-37-(B)(2)	
FAR - TOTAL (%)		52.81%	47.52%	§ 381-37-(B)(2)	[MAXIMUM FLOOR AREA RATIO = 0.64 - (0.02 X ((9,594.22 - 4,000) ÷ 1,000))] = 52.81%



SITE PLAN

1" = 20'-0"



LOCATION MAP

NOT TO SCALE

MUTTON/ELLIOT RESIDENCE

67 BEACH AVENUE
LARCHMONT, NY 10538

PROJECT DATA	PROJECT TEAM	SHEET INDEX																																										
<p>OWNER: RORY ELLIOT & LAURA MUTTON</p> <p>PROJECT ADDRESS: 67 BEACH AVENUE LARCHMONT, NY 10538</p> <p>ZONE: R-12.5</p> <p>LOT SIZE: 9,594.22 SQ FT 0.220 (ACRES) PER SITE SURVEY***</p> <p>MAX. BUILDING HEIGHT: 30 FT</p> <p>EXISTING FAR: 4,559 SQ FT</p> <p>MAXIMUM FAR ALLOWED: 5,065.75 SQ FT</p> <p>FAR ANALYSIS:</p> <table border="1"> <thead> <tr> <th></th> <th>EXISTING</th> <th>PROPOSED</th> </tr> </thead> <tbody> <tr> <td>BASEMENT</td> <td>379</td> <td>0</td> </tr> <tr> <td>FIRST FLOOR</td> <td>1,972</td> <td>0</td> </tr> <tr> <td>SECOND FLOOR</td> <td>1,722</td> <td>0</td> </tr> <tr> <td>ATTIC</td> <td>486</td> <td>373</td> </tr> <tr> <td>DETACHED GARAGE</td> <td>0</td> <td>0</td> </tr> <tr> <td>TOTAL</td> <td>4,559</td> <td>0</td> </tr> <tr> <td>TOTAL EXIST & PROPOSED:</td> <td>4,932</td> <td></td> </tr> </tbody> </table> <p>USE GROUP: 5b, Single Family Residence</p> <p>CONST. TYPE: Poured in place concrete foundation, wood frame construction (Type 3b)</p>		EXISTING	PROPOSED	BASEMENT	379	0	FIRST FLOOR	1,972	0	SECOND FLOOR	1,722	0	ATTIC	486	373	DETACHED GARAGE	0	0	TOTAL	4,559	0	TOTAL EXIST & PROPOSED:	4,932		<p>ARCHITECT: Mockler Taylor Architects, LLC 10 Saugatuck Ave, Westport, Connecticut 06880 T: (203) 622-4276</p> <p>CIVIL ENGINEER: TC MERRITTS LAND SURVEYORS 394 Bedford Road Pleasantville, NY 10570 T: (914) 769-8003</p>	<p>GENERAL ITEMS</p> <ul style="list-style-type: none"> A0.01 TITLE SHEET AND SITE PLAN A0.02 TITLE SHEET AND SITE PLAN A0.03 FAR PLANS <p>BUILDING PLANS</p> <ul style="list-style-type: none"> A1.00 DEMOLITION PLANS A1.01 DEMOLITION PLANS A1.10 BASEMENT LEVEL PLAN A1.12 FIRST LEVEL PLANS A1.13 SECOND FLOOR PLANS A1.14 ATTIC LEVEL PLANS A1.15 ROOF PLANS <p>EXTERIOR ELEVATIONS</p> <ul style="list-style-type: none"> A2.01 BUILDING ELEVATIONS A2.02 BUILDING ELEVATIONS (CONT) A2.03 BUILDING ELEVATIONS (CONT) <p>BUILDING CROSS & WALL SECTIONS</p>																		
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<p>GENERAL NOTES</p> <ol style="list-style-type: none"> The scope of work shall include labor, materials, equipment and services scheduled, indicated or referred to either in the drawings or specifications. The contents of the Construction Documents are complimentary, and what is required by one shall be binding as if required by all. Any work not cited specifically in the Contract Documents, but which can be reasonably inferred as being necessary to product the intended results in a quality manner, shall be considered as being necessary in the scope of work. Any items or materials noted in one detail or section of the drawings shall be included in the scope of work for all similar areas or elements. Contractors shall afford other Contractors reasonable opportunity for the introduction and storage of their materials and equipment and for the execution of their work, and shall properly connect and coordinate his work with theirs. All work shall be furnished and/or installed, as noted, in compliance with the highest standards of professional workmanship of the respective building trades performing work under this contract. The Contractor shall perform all work in conformance with all federal, state, or local codes, laws, regulations or standards of all such Authorities having jurisdiction over the work. The Contractor shall have proper license for scope and locale of the project. Site Safety is the sole responsibility of the Contractor. The Contractor shall provide min. three (3) fire extinguishers to be kept on site and accessible throughout the course of the project. The fire extinguishers shall be of a type (and quantity if other than 3) acceptable to the Owner's insurance agents. The Contractor is solely responsible for and has control over the construction means, methods, techniques, sequences and procedures for coordinating all portions of the work. The Contractor shall check & verify all dimensions & conditions before proceeding with the work & if there are any discrepancies shall contact the Architect for clarification. The Contractor shall obtain all necessary insurance as required by Law as well as for the SubContractors and shall provide copies of verification of such coverage to the Owner and local building officials as required. This insurance is to include Bodily Injury, Property Damage, Workman's Compensation, etc. as carried by an insurer licensed in the State of Connecticut. The Contractor assumes responsibility for all loss of materials and tools, destruction of equipment and other machinery and shall indemnify and save harmless the Owner and Architect against all claims arising out of the performance of this Contract. Substitutions may be made only upon the approval of the Architect. All areas are to be broom cleaned at the close of each day. Packaging and crating materials must be removed at the end of each day & are not to be left to accumulate overnight. 																																												
<p>NOT FOR CONSTRUCTION</p>																																												
<p>MOCKLERTAYLOR ARCHITECTS, LLC 10 SAUGATUCK AVENUE WESTPORT, CT 06880 (203) 622-4276</p>																																												
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<p>A0.01</p>																																												

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE SPECIFIC WRITTEN AUTHORIZATION OF MOCKLER TAYLOR ARCHITECTS, LLC.

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ISSUED
ARB #1 02/09/22
ARB #2 03/15/22

Date: 03/15/22
Job: MUT-21
Scale: AS NOTED

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

Date: 03/15/22
Job: MUT-21
Scale: AS NOTED

A0.01

TITLE SHEET AND SITE PLAN



71 BEACH AVENUE



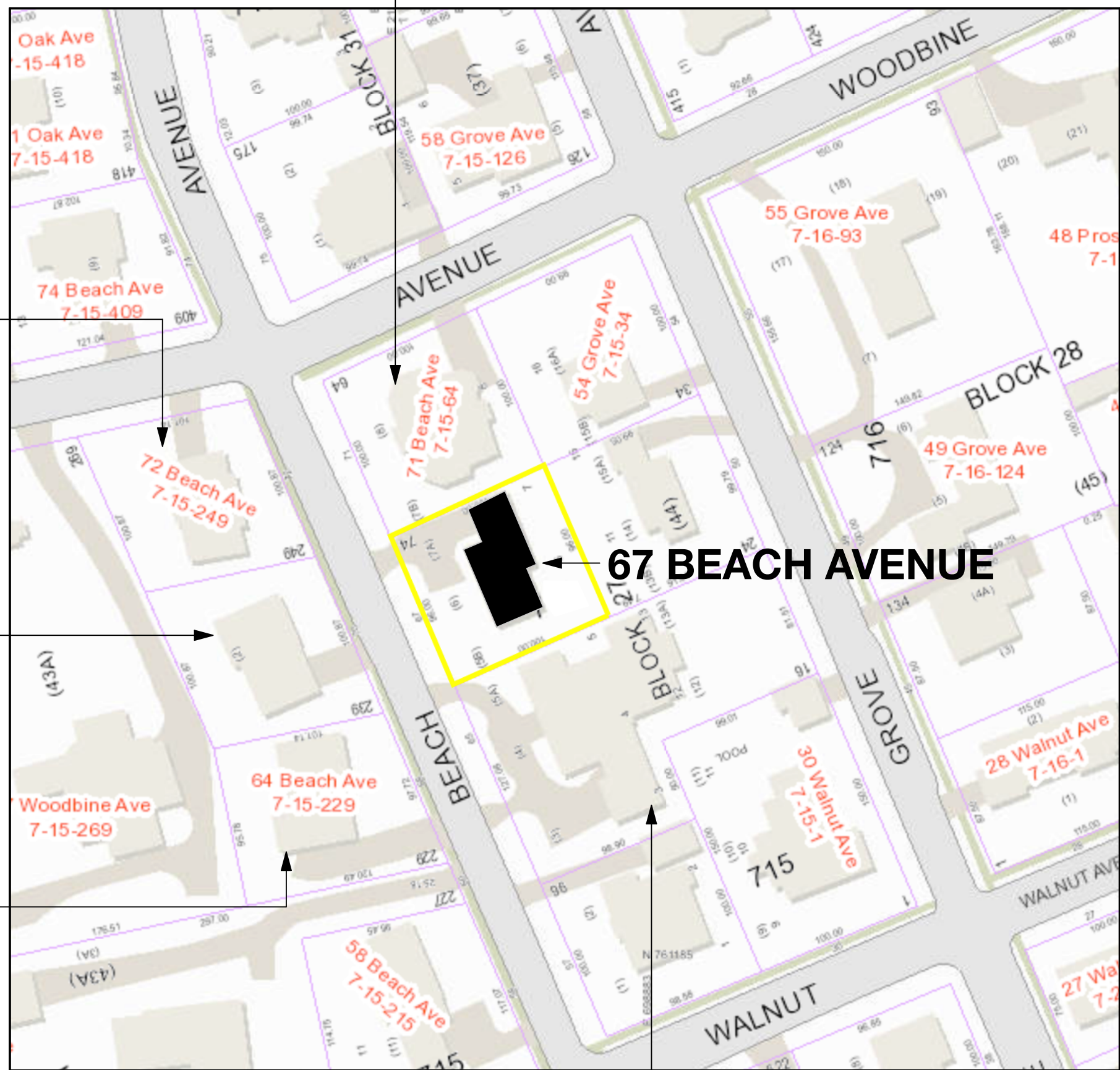
72 BEACH AVENUE



70 BEACH AVENUE



64 BEACH AVENUE



ADJACENT PROPERTIES
NOT TO SCALE



65 BEACH AVENUE



FRONT ELEVATION



FRONT ELEVATION



FRONT ELEVATION FACING SOUTH



WEST SIDE ELEVATION



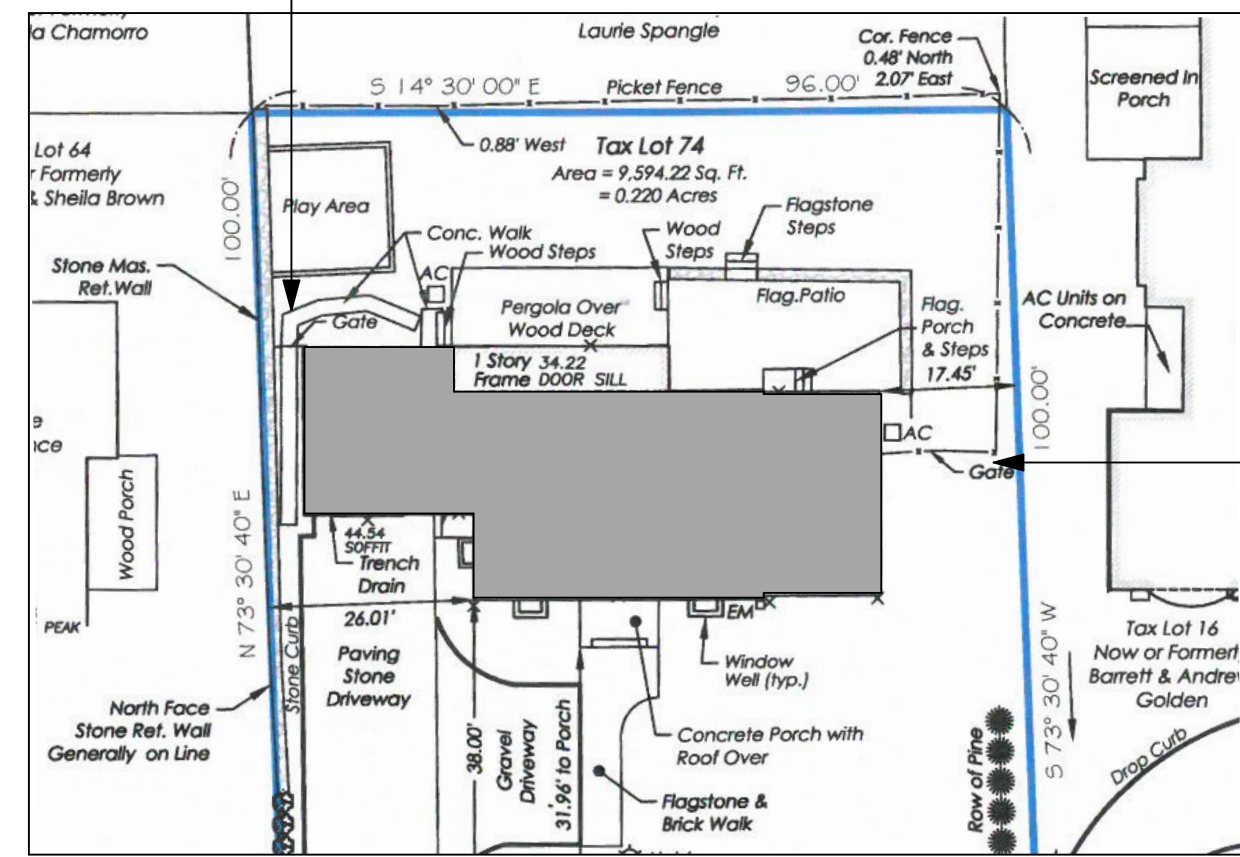
REAR ELEVATION



REAR ELEVATION



EAST SIDE ELEVATION



SITE PHOTOS



FRONT ELEVATION FACING NORTH

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MUTTON/ELLIOT RESIDENCE
67 Beach Avenue
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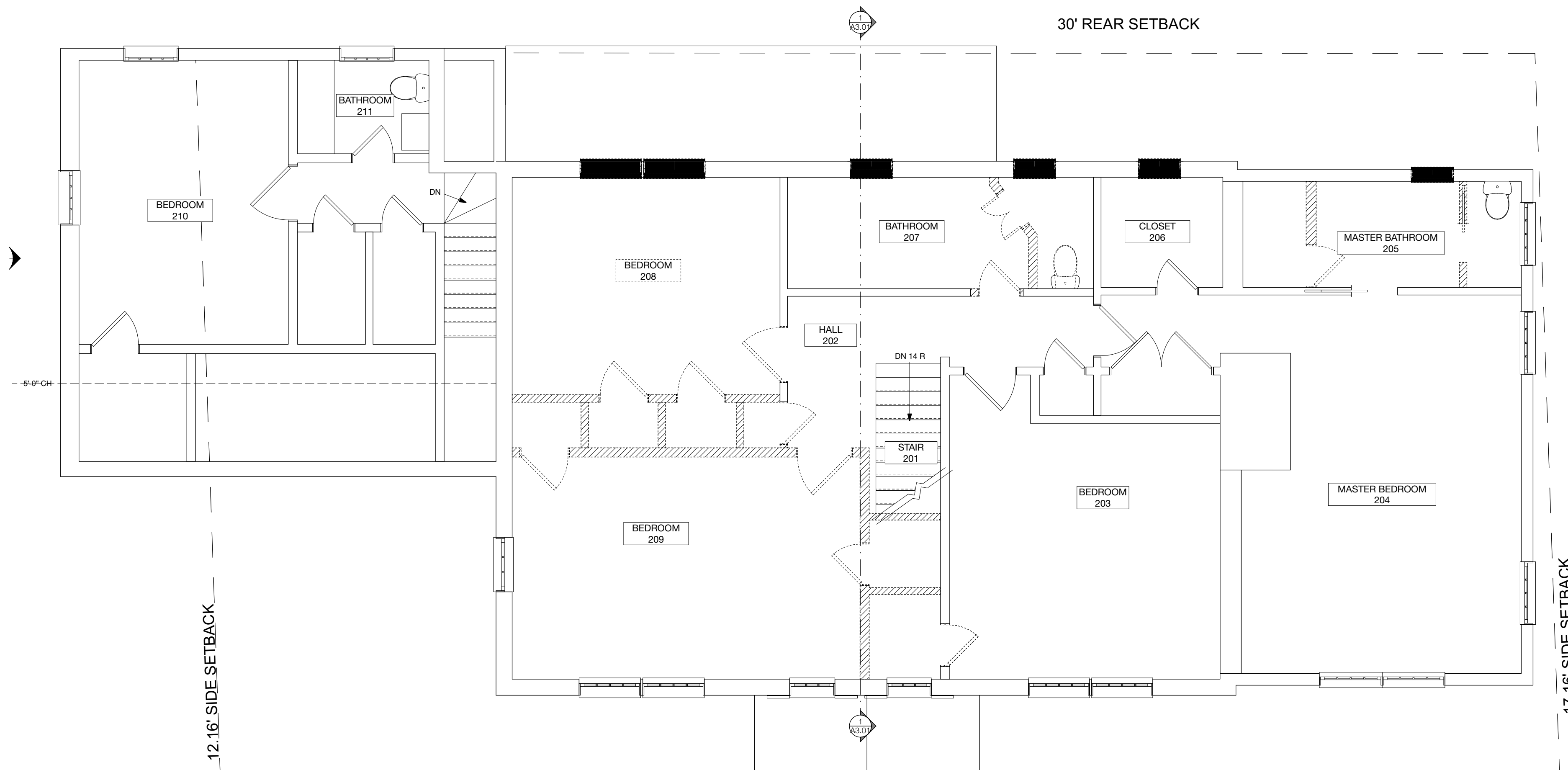
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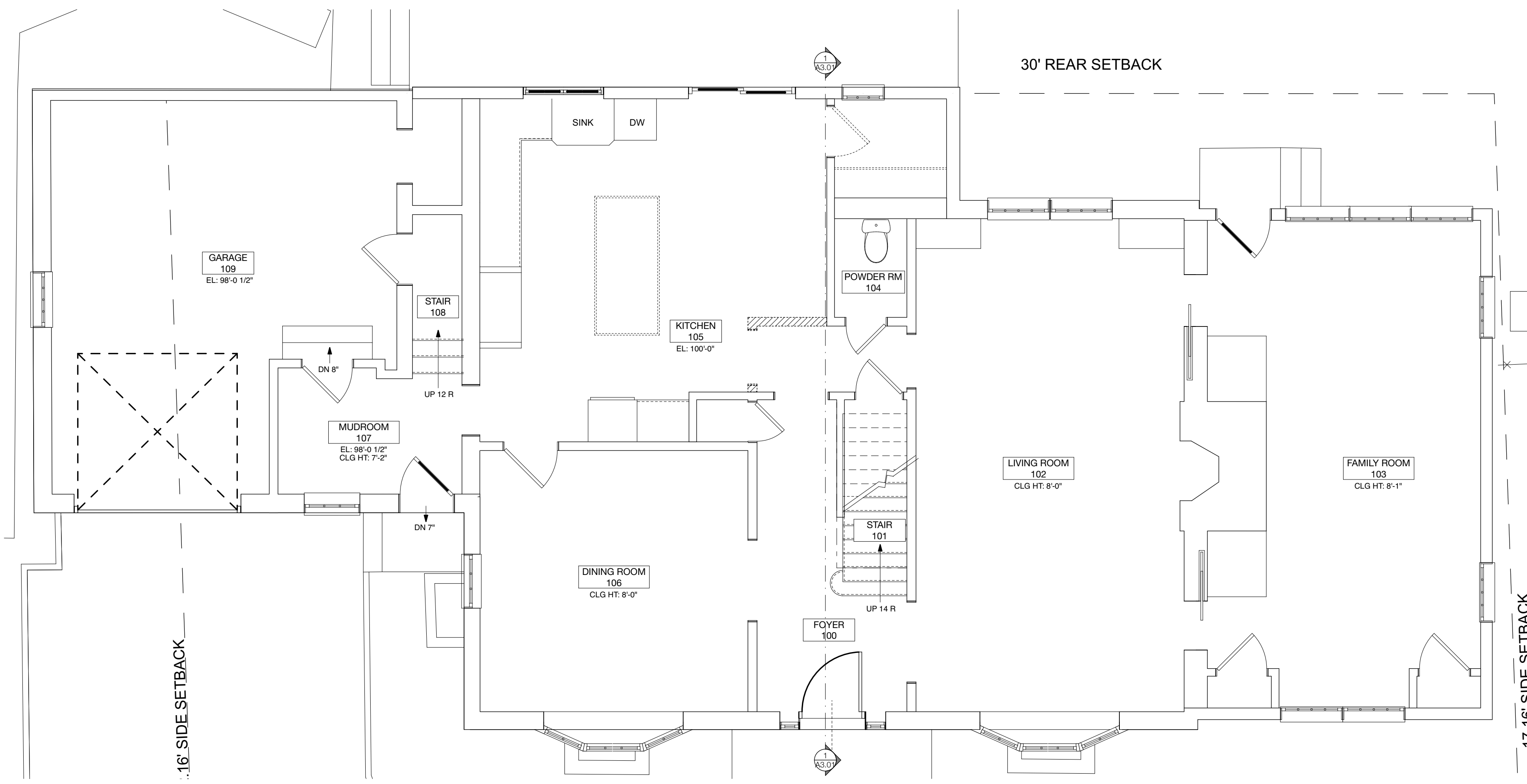
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NOT FOR CONSTRUCTION

TITLE SHEET AND SITE PLAN



2 DEMOLITION PLAN - SECOND FLOOR
SCALE: 1/4" = 1'-0"



1 DEMOLITION PLAN - FIRST FLOOR
SCALE: 1/4" = 1'-0"

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MUTTON/ELLIOT RESIDENCE
67 Beach Avenue
Larchmont, NY 10538

1" ACTUAL
IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

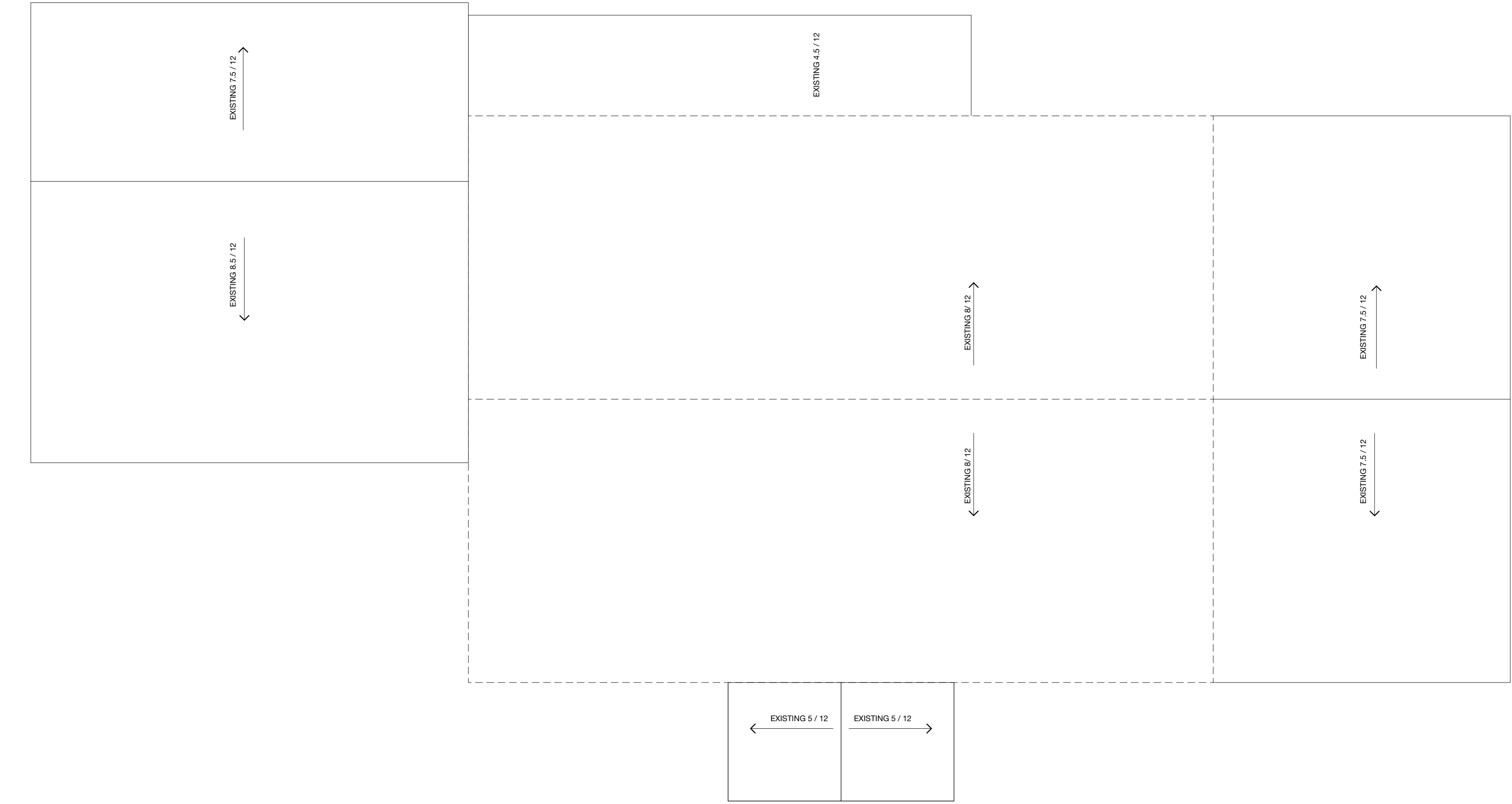
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Date: 03/15/22
Job: MUT-21
Scale: AS NOTED

A1.00

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DEMOLITION PLANS



1 DEMOLITION PLAN - ROOF PLAN
SCALE: 1/4" = 1'-0"

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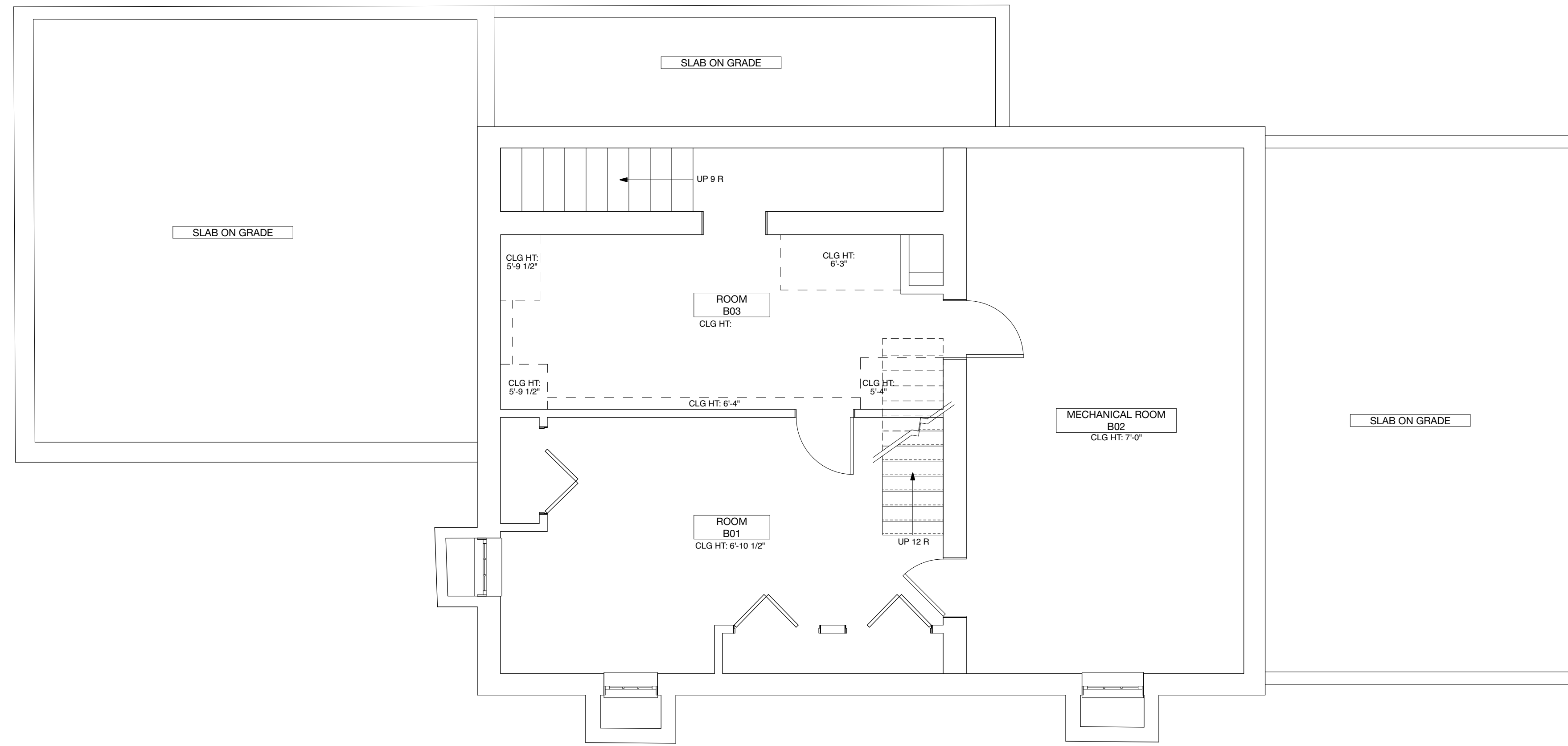
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MOCKLER TAYLOR
ARCHITECTS, LLC
10 SAUGATUCK AVENUE
WESTPORT, CT 06880
(203) 622-4276

NOT FOR CONSTRUCTION

A1.01

DEMOLITION PLANS



1 BASEMENT LEVEL PLAN
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

MUTTON/ELLIOT RESIDENCE
67 Beach Avenue
Larchmont, NY 10538

1" ACTUAL
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ISSUED
ARB #1 02/09/22
ARB #2 03/15/22

Date: 03/15/22
Job: MUT-21
Scale: AS NOTED

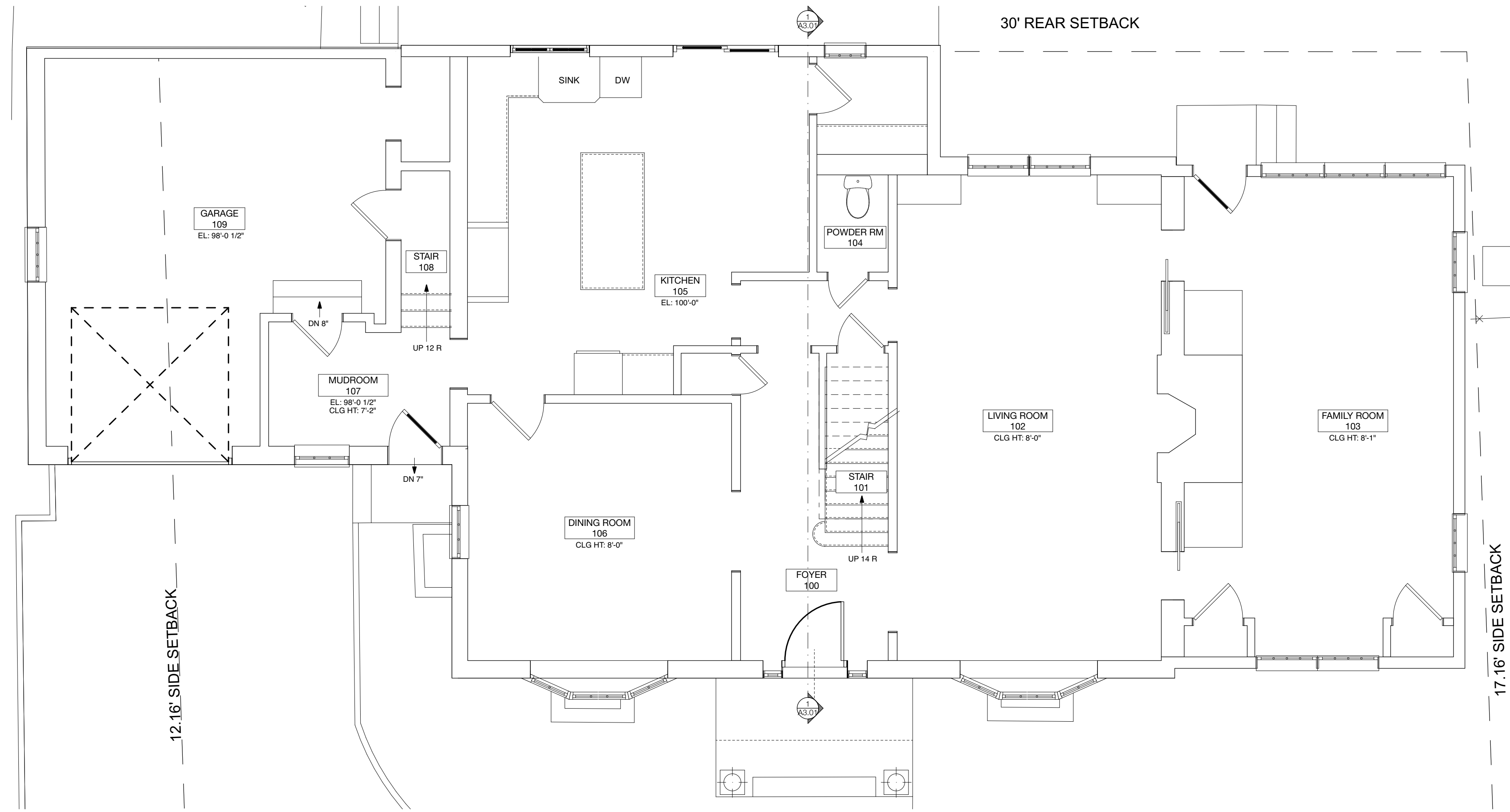
A1.10

BASEMENT LEVEL PLAN

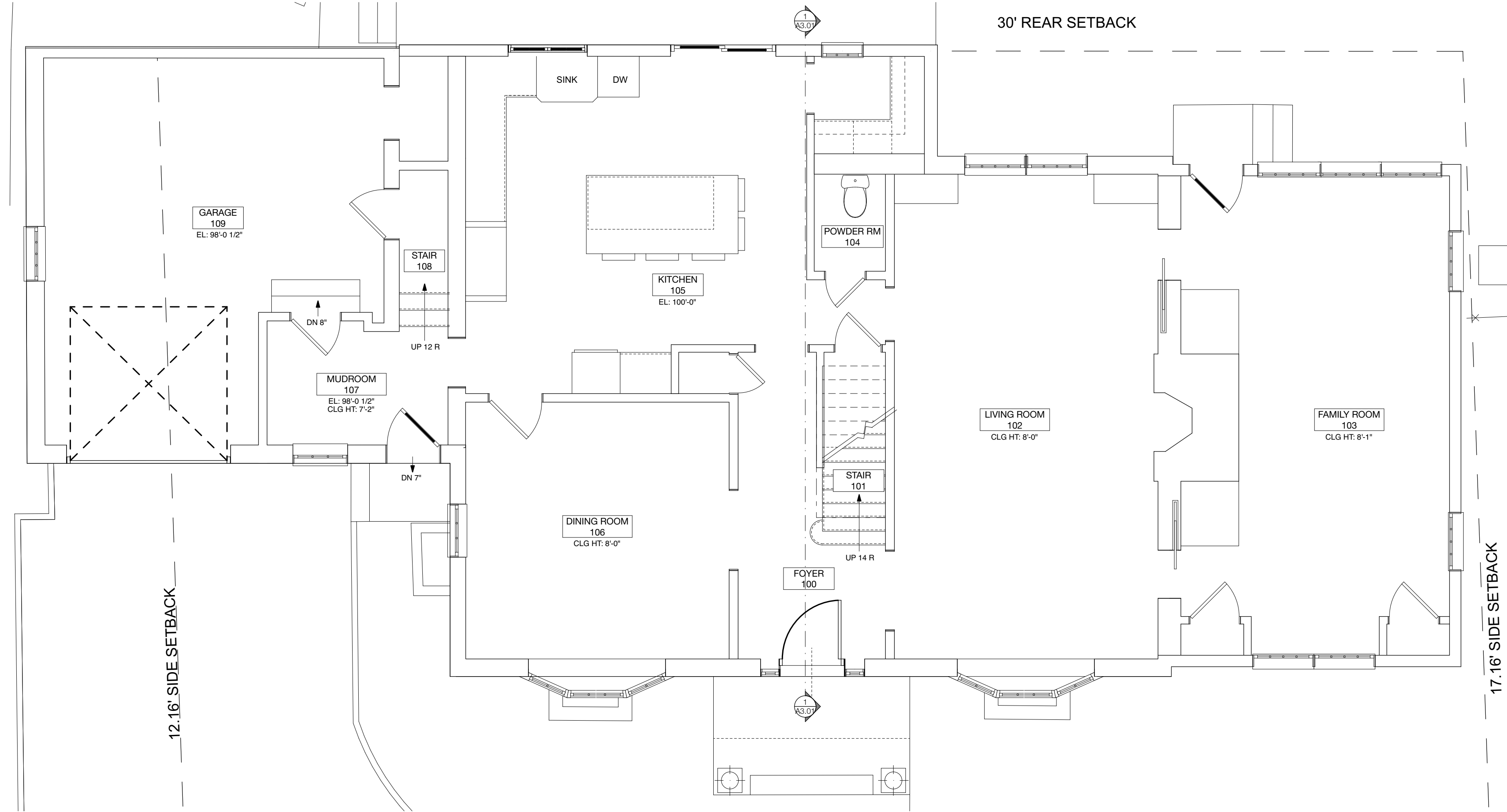
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10 SAUGATUCK AVENUE
WESTPORT, CT 06880
(203) 622-4276



2 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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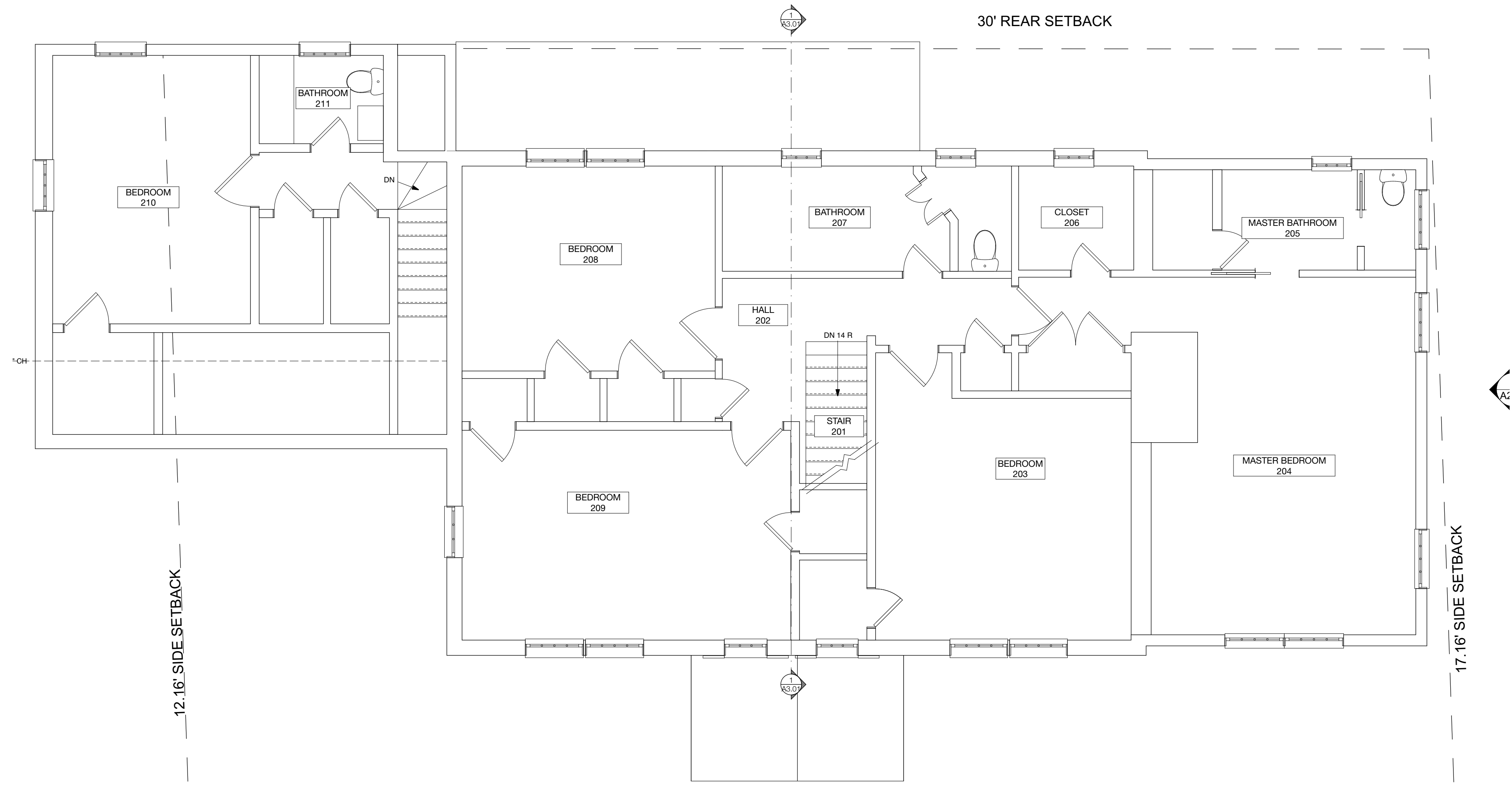
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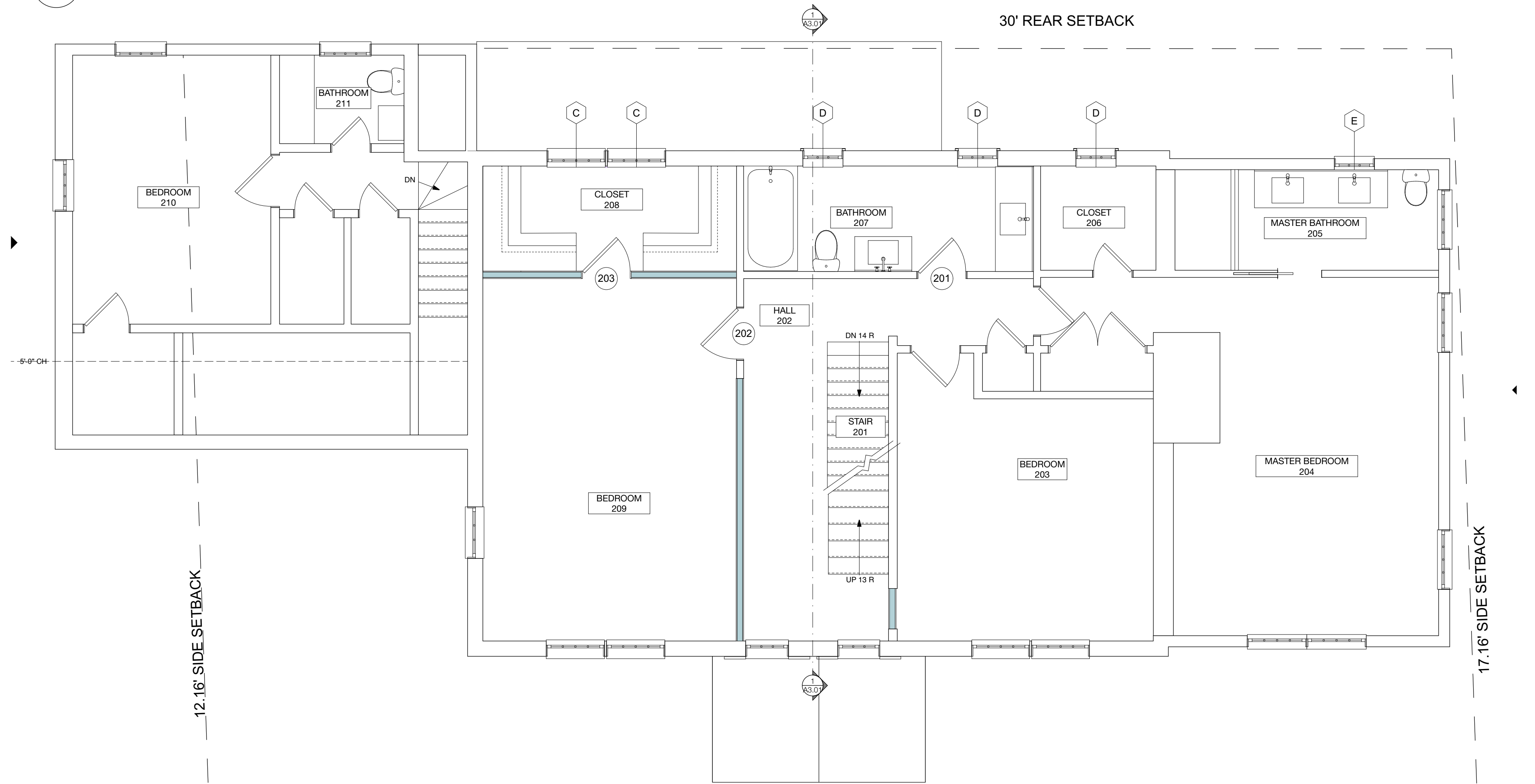
A1.12

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FIRST LEVEL PLANS



2 EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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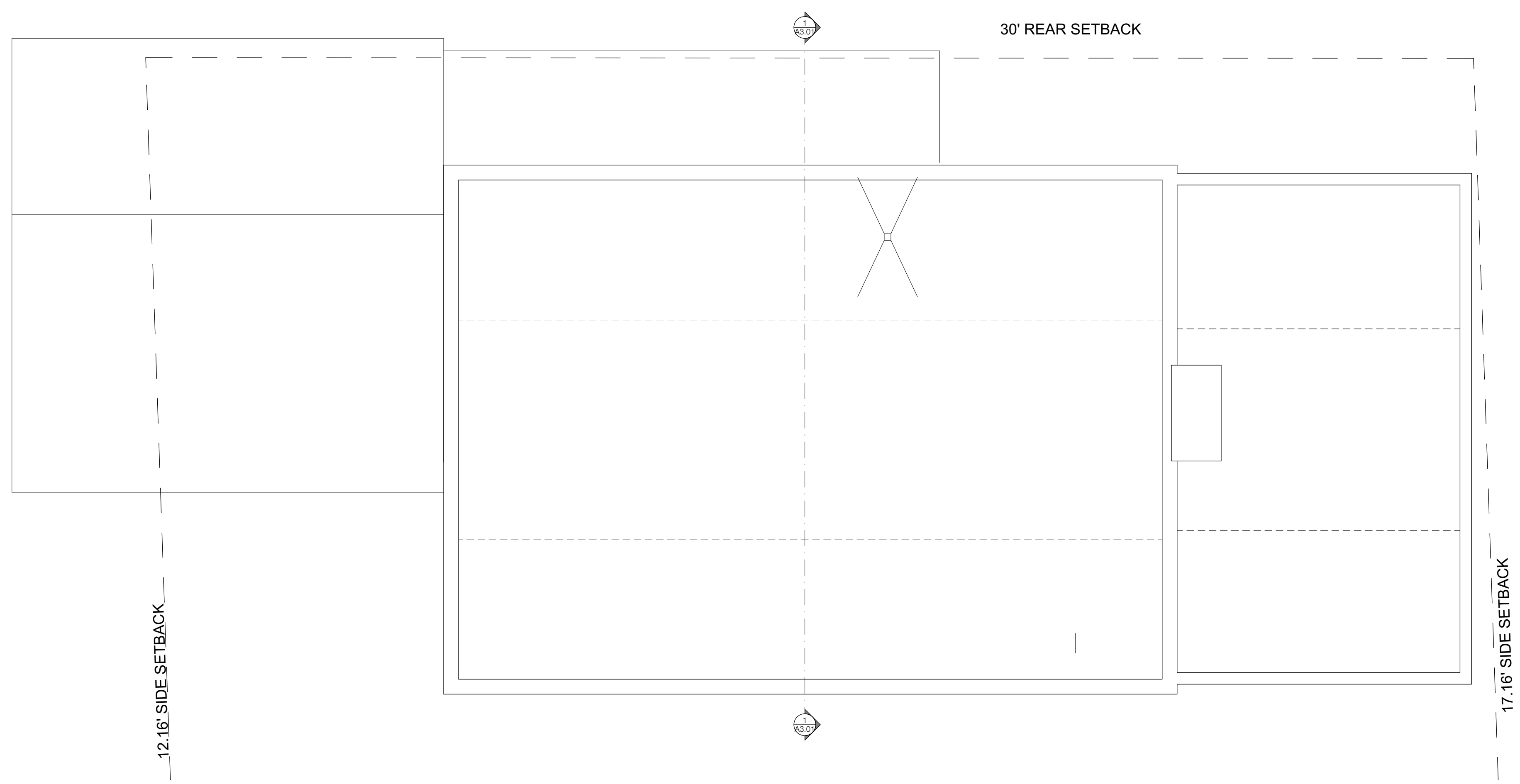
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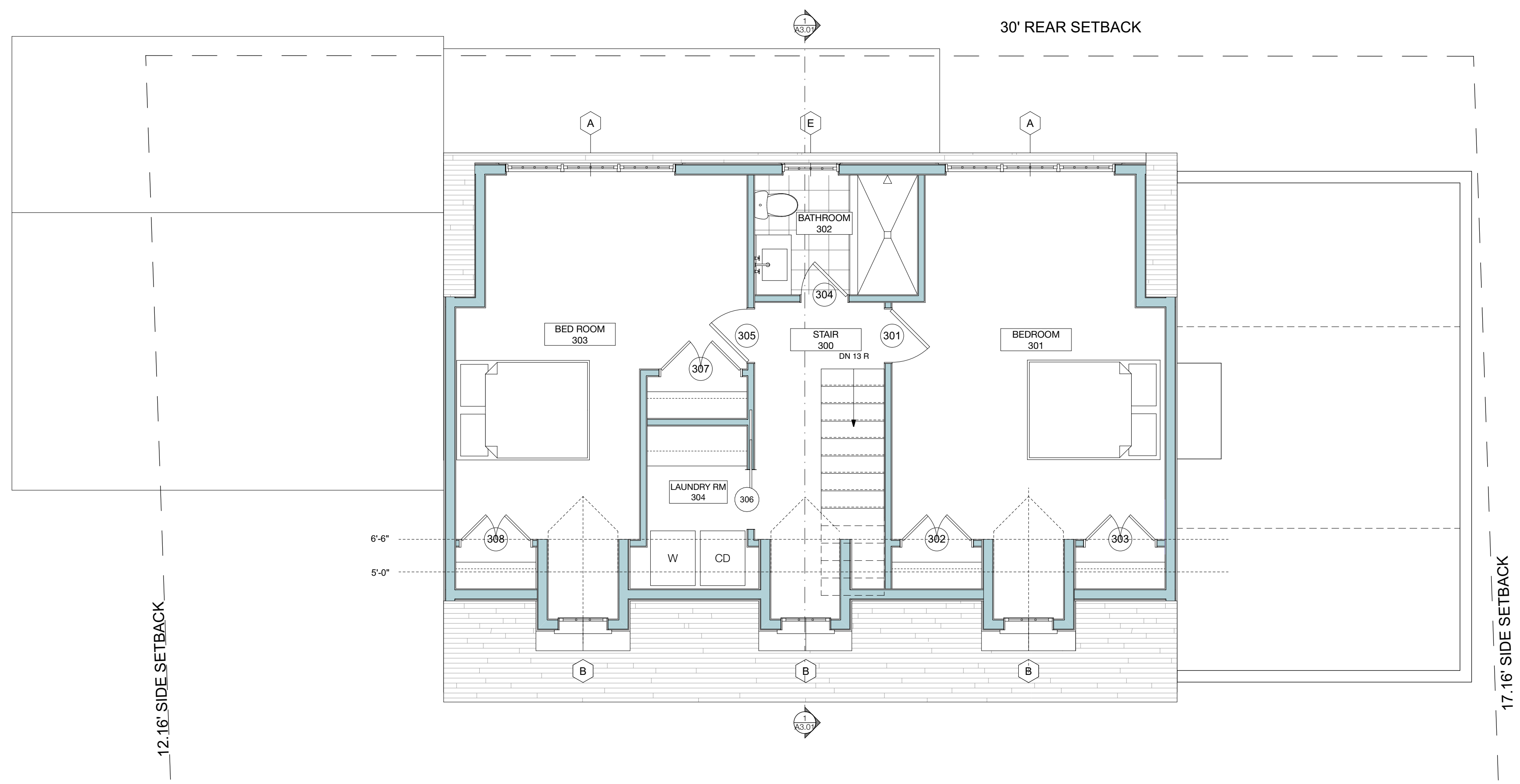
A1.13

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SECOND FLOOR PLANS



2 EXISTING ATTIC PLAN
SCALE: 1/4" = 1'-0"



1 PROPOSED ATTIC PLAN
SCALE: 1/4" = 1'-0"

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Job:	MUT-21
Scale:	AS NOTED

A1.14

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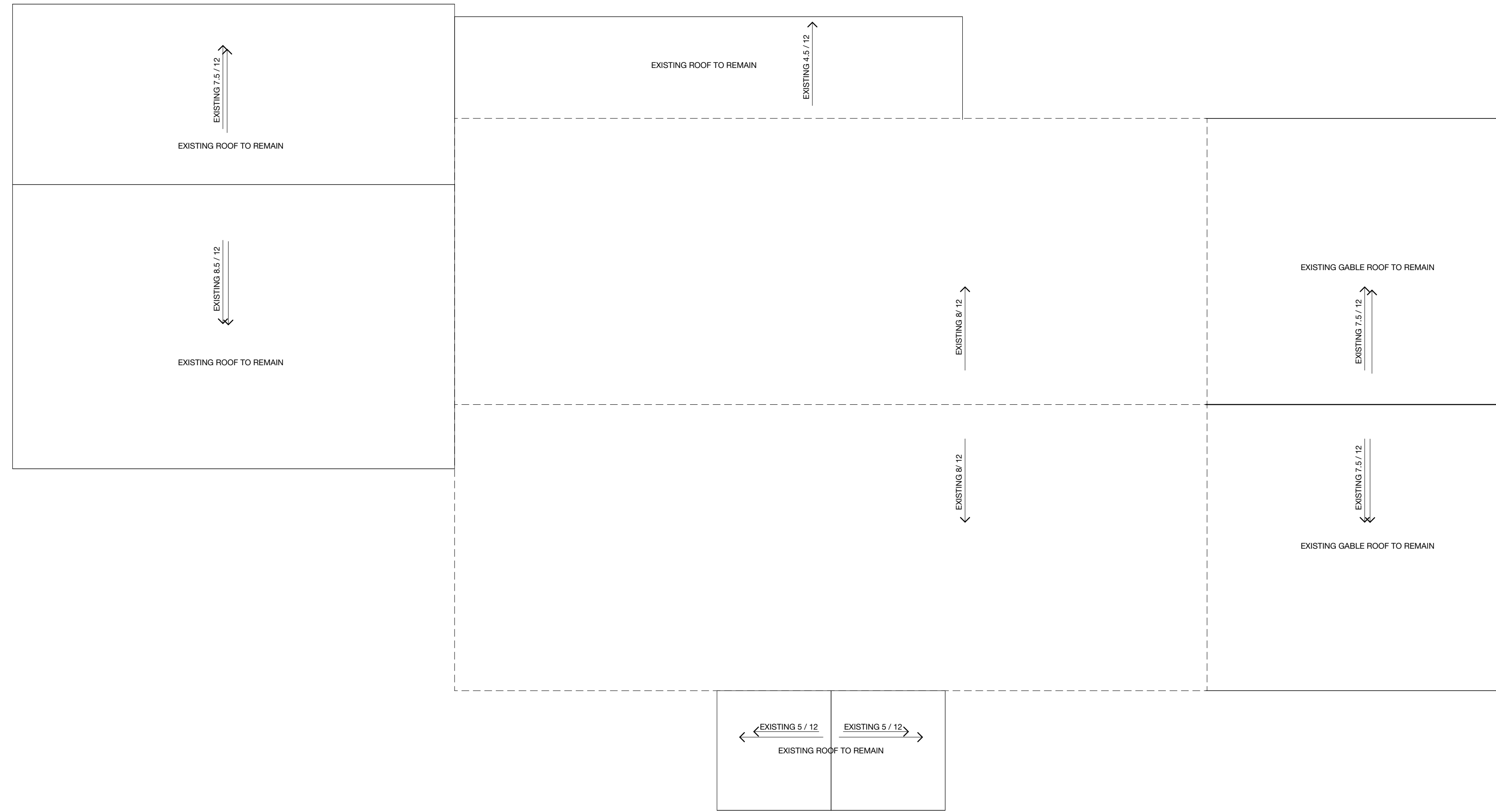
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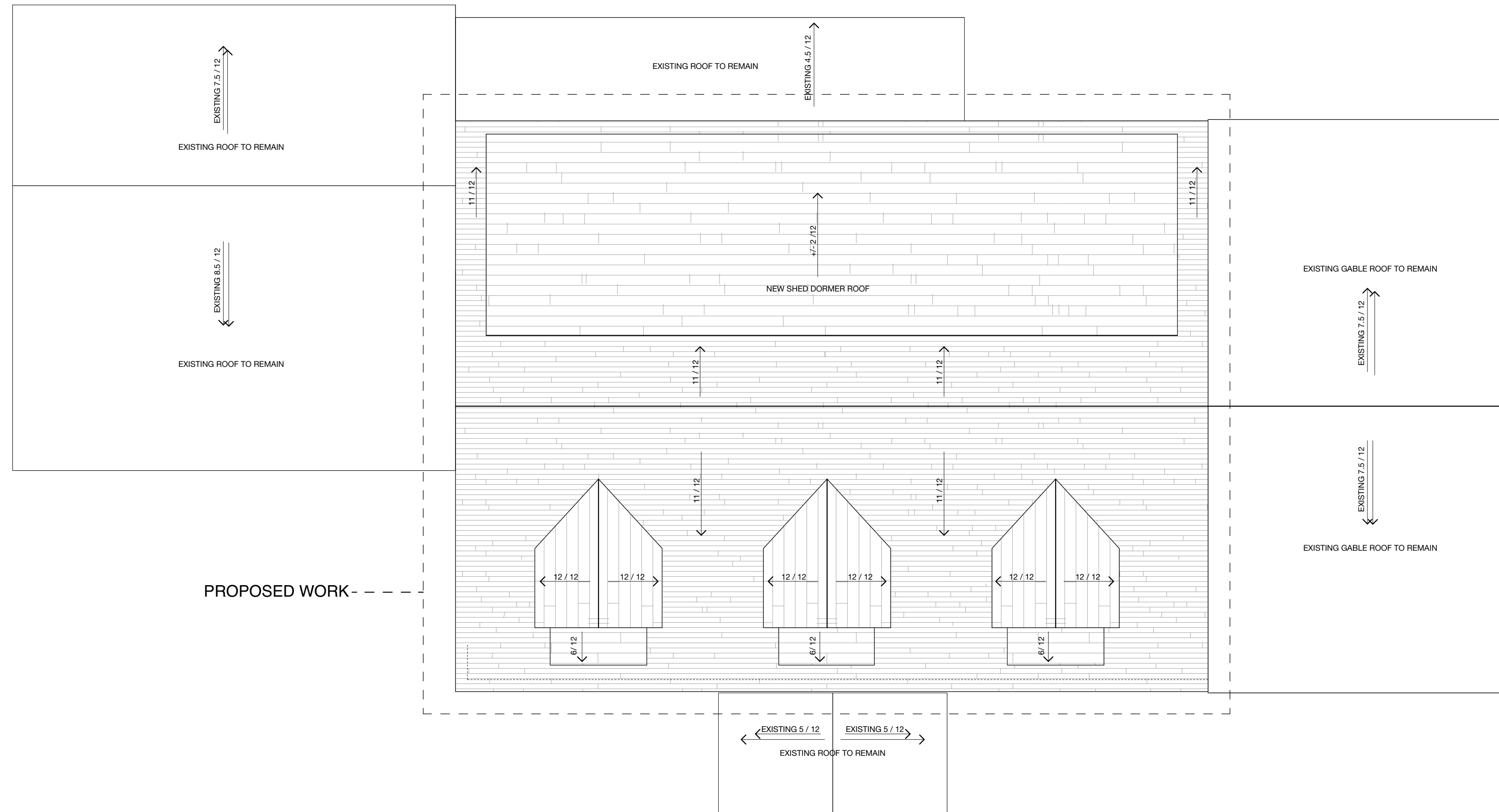
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ATTIC LEVEL PLANS



2 EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"



1 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

ROOF LEGEND

- ICE & WATER SHIELD: PROVIDE FOR A MIN. OF 5'-6" (2 LAPPED LAYERS, W/ 8" OVERLAP) AT ALL EAVES & VALLEYS. PROVIDE 2 LAYERS AT LOW PITCH ROOFS, TYP.
- COPPER FLASHING (TYPE AS SPECIFIED IN PROJECT NOTES) AT ALL VALLEYS AND WALL & ROOF INTERSECTIONS, TYP. REVIEW W/ ARCHITECT PRIOR TO FABRICATION AND INSTALLATION, TYPICAL
- 9 : 12 → PITCH OF DOWNWARD ROOF SLOPE

NOTES:

1. ALL ROOF JACK VENTS (DRYER, KITCHEN, BATHROOMS) SHALL RECEIVE LEAD-COATED COPPER FLASHING.
2. ALL PLUMBING STACK VENT PENETRATIONS SHALL RECEIVE A LEAD-COATED COPPER BOOT & LEAD-COATED COPPER WRAP.
3. ALL PLUMBING VENTS SHALL BE LOCATED TO MINIMIZE VISIBILITY FROM FRONT AND SIDES OF THE HOUSE.

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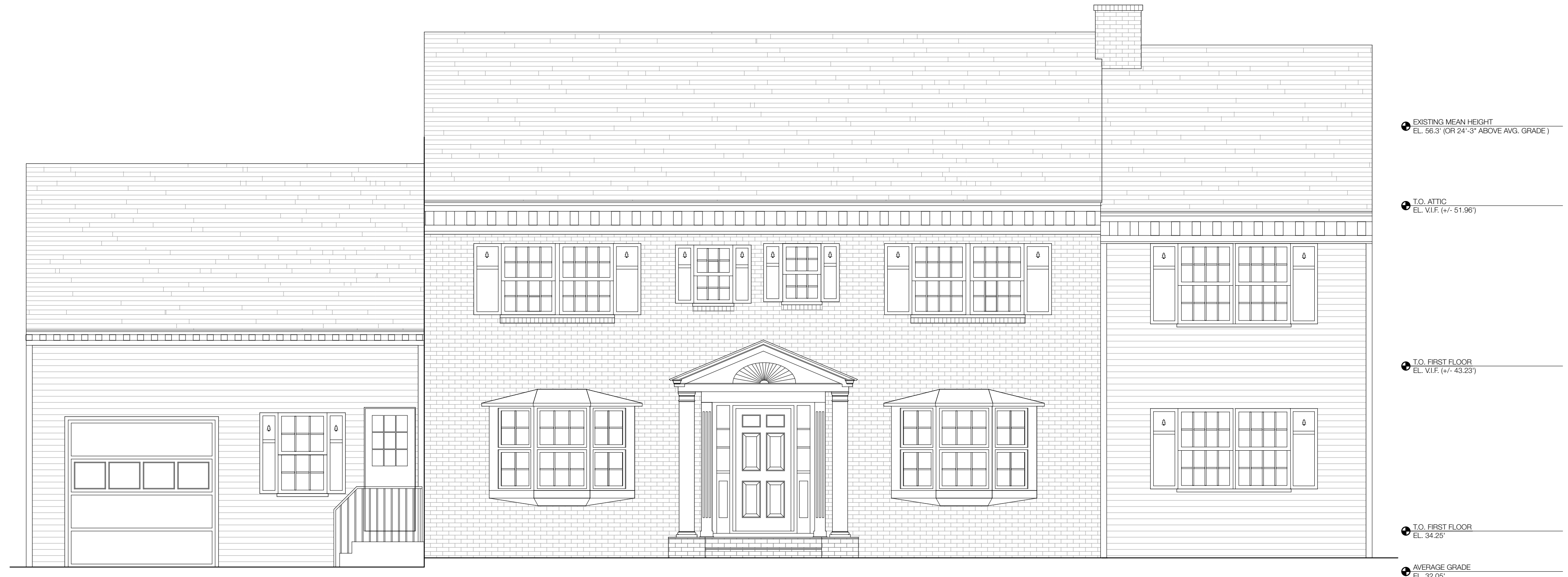
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A1.15

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2 FRONT ELEVATION - EXISTING
SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

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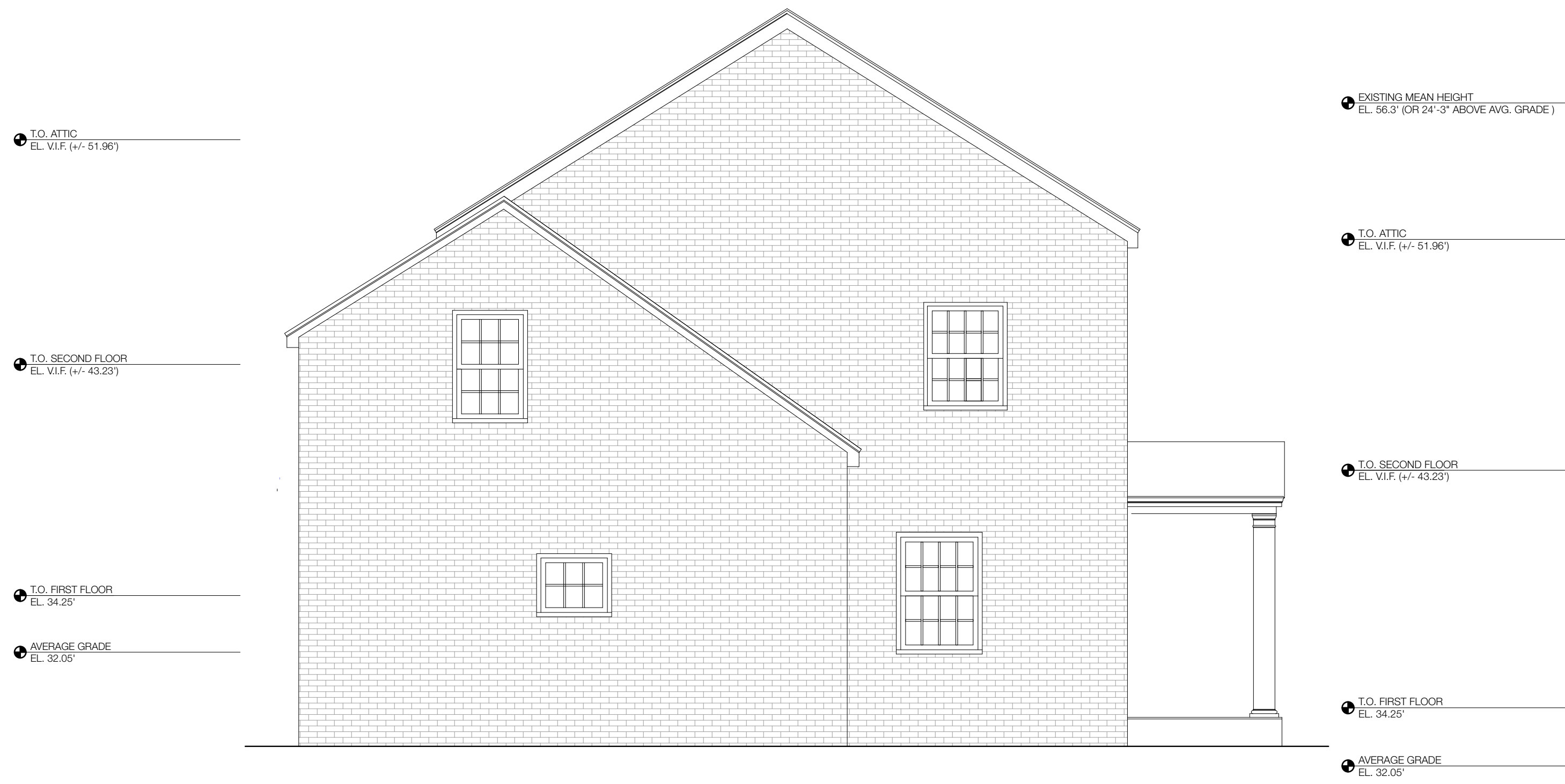
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ARB #2 03/15/22

Date: 03/15/22
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Scale: AS NOTED

A2.01

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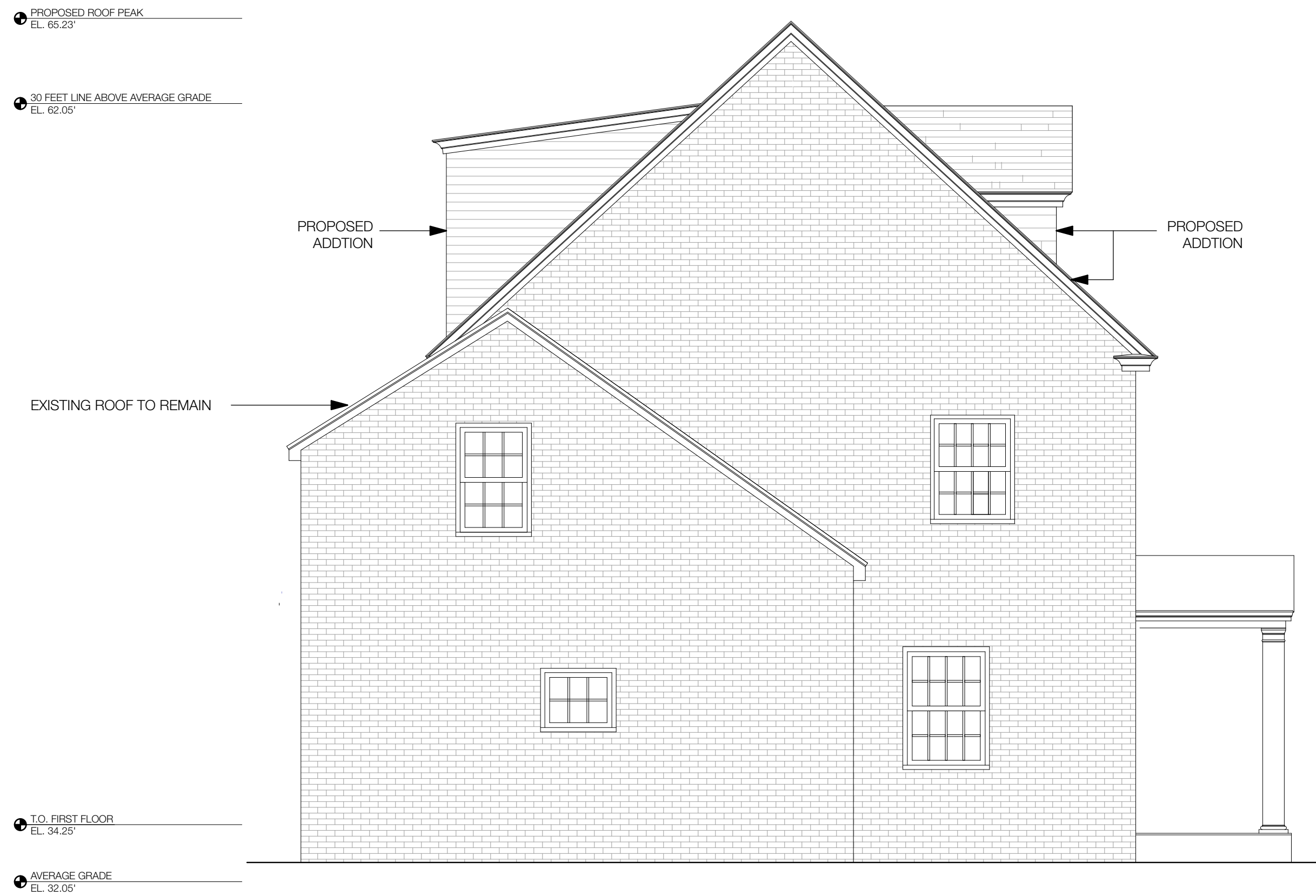
BUILDING ELEVATIONS



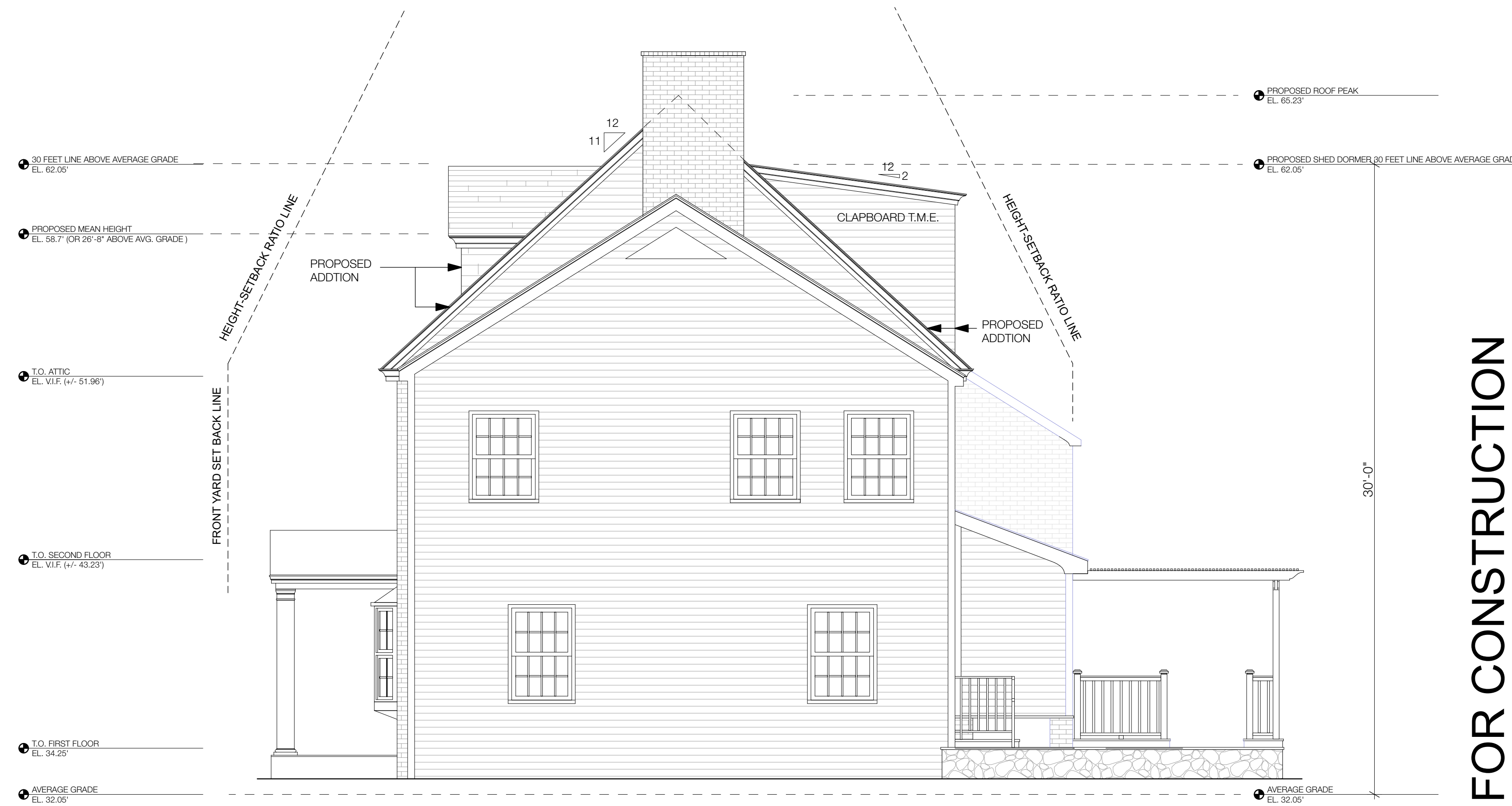
4 WEST ELEVATION - EXISTING
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION - EXISTING
SCALE: 1:46.71



2 WEST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

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Job: MUT-21
Scale: AS NOTED

A2.02

NOT FOR CONSTRUCTION

BUILDING ELEVATIONS (CONT)

● EXISTING MEAN HEIGHT
 EL. 55.3' (OR 24'-3" ABOVE AVG. GRADE)
 ● T.O. ATTIC
 EL. V.I.F. (w/ 51.96')
 ● T.O. FIRST FLOOR
 EL. V.I.F. (w/ 43.23')
 ● T.O. FIRST FLOOR
 EL. 34.25'
 ● AVERAGE GRADE
 EL. 32.05'



2 REAR ELEVATION - EXISTING
 SCALE: 1/4" = 1'-0"

REVISIONS FROM ARB SUBMITTAL #1:
 LOWERED EAVE LINE
 INCREASED ROOF PITCH
 REDUCED INTERIOR HEAD HEIGHT
 SMALLER BATH WINDOW CENTERED
 IN THE MIDDLE OF THE ELEVATION

● 30 FEET LINE ABOVE AVERAGE GRADE
 EL. 62.05'
 ● PROPOSED MEAN HEIGHT
 EL. 59.7' (OR 26'-9" ABOVE AVG. GRADE)
 NEW WOOD SHINGLE ROOF
 ● T.O. ATTIC
 EL. V.I.F. (w/ 51.96')
 ● T.O. SECOND FLOOR
 EL. V.I.F. (w/ 43.23')
 ● T.O. FIRST FLOOR
 EL. 34.25'
 ● AVERAGE GRADE
 EL. 32.05'



PROPOSED ADDITION
 NEW WOOD SHINGLE ROOF
 NEW ASPHALT SHINGLE ROOF
 SHED DORMER: EAVE AND CLAPBOARD TO MATCH EXISTING DETAILS. WINDOW SIZES TO MATCH EXISTING SECOND FLOOR WINDOWS. *MARVIN* ELEVATE SERIES, SDL, PTD.
 NEW WOOD SHINGLE ROOF
 EXISTING FRIEZE TO REMAIN, PTD.

1 REAR ELEVATION - PROPOSED
 SCALE: 1/4" = 1'-0"

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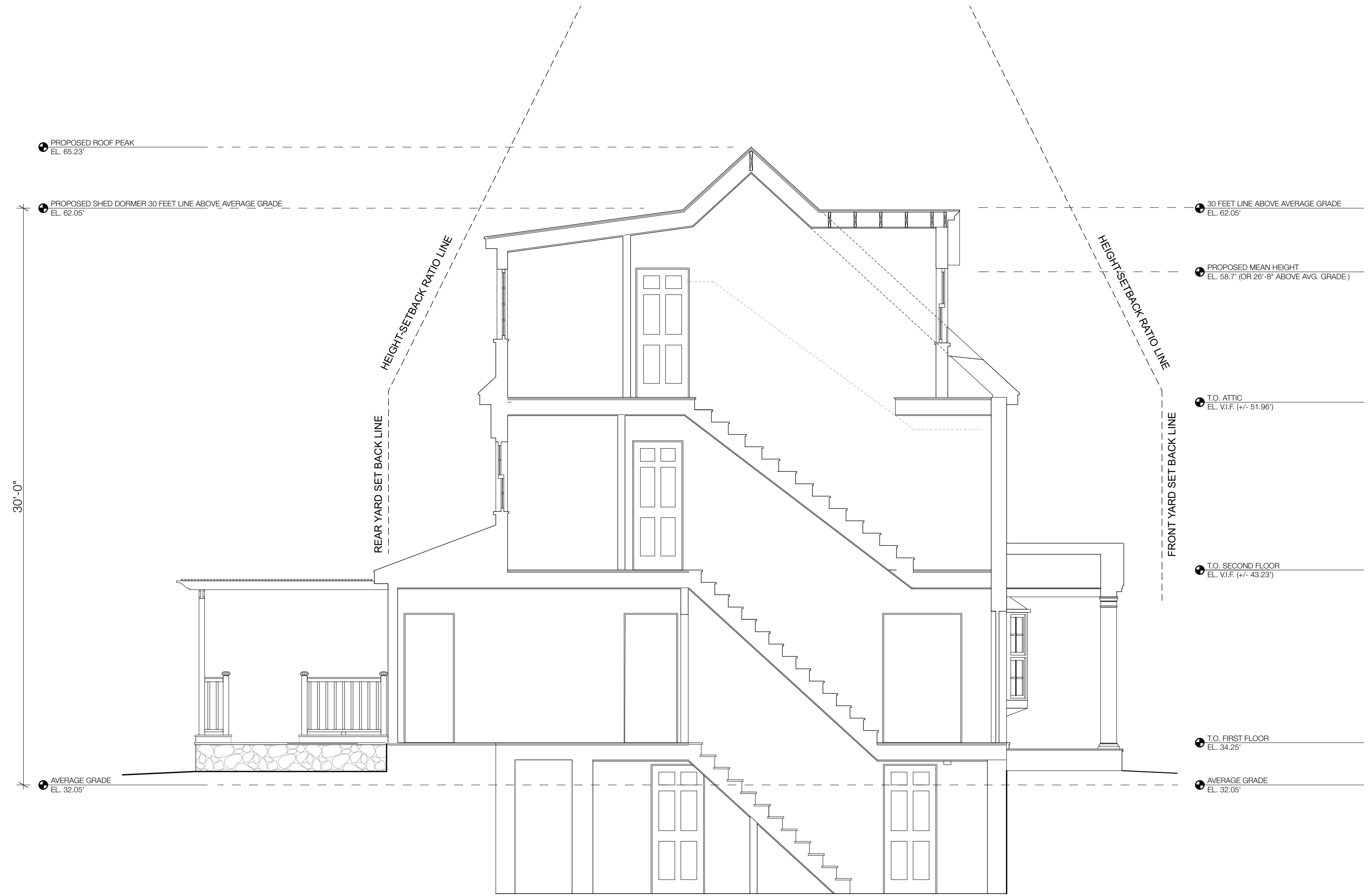
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A2.03

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BUILDING ELEVATIONS (CONT)



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"

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A3.01

BUILDING SECTION

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