



Village of Larchmont villageoflarchmont.org
 Building Department Architectural Review Board Application
 120 Larchmont Avenue, Larchmont, New York 10538 Phone (914) 834-4349
ARCHITECTURAL REVIEW BOARD
APPLICATION

TO BE COMPLETED BY APPLICANT

Application date: March 14, 2022		Application Fee: \$150.00	
<i>Please fill in dates or N/A (Not Applicable)</i> <i>Note: Dates must be on plans submitted</i> Board Approval Date: <input type="checkbox"/> Zoning Not Required		<i>Please fill in dates or N/A (Not Applicable)</i> <i>Note: Dates must be on plans submitted</i> Board Approval DATE: <input type="checkbox"/> Planning 2/15/2022	
		<i>Please fill in dates or N/A (Not Applicable)</i> <i>Note: Dates must be on plans submitted</i> Board Approval DATE: <input checked="" type="checkbox"/> ARB	

SITE IDENTIFICATION INFORMATION

Project Address:
 No. 68 Street Iselin Terrace

Village of Larchmont Tax Map Designation:
 Section 6 Block 9 Lot(s) 158.2

Business Name:
 Mark Lundquist and Ashita Batavia, Owners

Description of Project:
 Addition and interior renovation

APPLICANT/OWNER INFORMATION

Contractor (Signage Company): TBD	Phone #: Fax#:	Email:
Owners Address: No. 68 Street: Iselin Terrace Town: Larchmont State: NY Zip: 10538		
Applicant (If different than owner): Gregory Lewis, Lewis + Lewis Architects	Phone #: (914) 315-6454 Fax#:	Email: greg@lewisandlewisarchitects.com
Applicant Address (If different than owner): No. 144 Street: Larchmont Avenue, Unit 1 Town: Larchmont State: NY Zip: 10538		
Representatives & Title: Architect	Phone #: (914) 315-6454 Fax#:	Email: greg@lewisandlewisarchitects.com
Address: No. 144 Street: Larchmont Avenue, Unit 1 Town: Larchmont State: NY Zip: 10538		

AFFIDAVIT OF OWNERSHIP

State of New York
 County of Westchester

I, _____ being duly sworn;
 PRINT NAME

Deposes and states; that _____ is the Owner in fee of the premises to which this Application applies; that the Applicant is duly authorized to make this Application; and that the statements made here are true to the best of the Applicant's knowledge and belief, and that the work will be performed in the manner set forth in the Application filled therewith, and in accordance with all applicable laws, ordinances and regulations.

NOTARY SEAL

Signature _____

Sworn to before me this _____ day of _____ 20_____

 NOTARY



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68 Iselin Terrace, Larchmont, NY

ARCHITECTURAL REVIEW BOARD SUBMISSION REQUIREMENTS

The following are minimum presentation requirements.
Additional supporting items may be requested by the reviewing Board.

Incomplete application packages may not be accepted / reviewed

Application

- X Application Form must be 100% complete – No Blank Spaces Please.
- X Six (6) Packets – Each to include

Survey

- X Official stamped survey, (not older than 3 years)
- X Survey must show existing structures, setbacks, and property lines

Site Plan

- X Show area of new work
- X Proposed landscaping
- X Site changes
- X Setbacks and projections
- X Adjacent structures

Photographs

- X Photos of existing building elevations and any other relevant data such as neighboring architecture, or precedents supporting design

Existing Plans and Elevations

- X Not less than 1/8" scale
- X Complete building must be included

Proposed Plans and Elevations

- X Not less than 1/4" scale
- X Complete building must be included, no partial elevations, all sides must be included
- X Areas of new construction should be clearly identified from the existing structure
- X Dimensions must include and identify major walls and features
- X Elevations should identify significant materials, floor-to-floor and roof heights

Details

- X Applicable section and plan details
- X Show material profiles and transitions of key elements such as foundations, windows, doors, eaves, and decorative features

Material Samples

- X Applicants are encouraged to bring to the public meeting applicable material samples

These are minimum presentation requirements; the Board reserves the right to request additional material on a case-by-case basis.



ARCHITECTURAL REVIEW BOARD APPLICATION GUIDELINES

STEPS TO OBTAIN ARB APPROVAL:

1. Submit a complete Architectural Review Board (ARB)
2. Submit all relevant application fee
3. Attend an ARB public hearing with all required submission materials (see page 2). **Both applicant and owner need to be present at ARB hearing.**

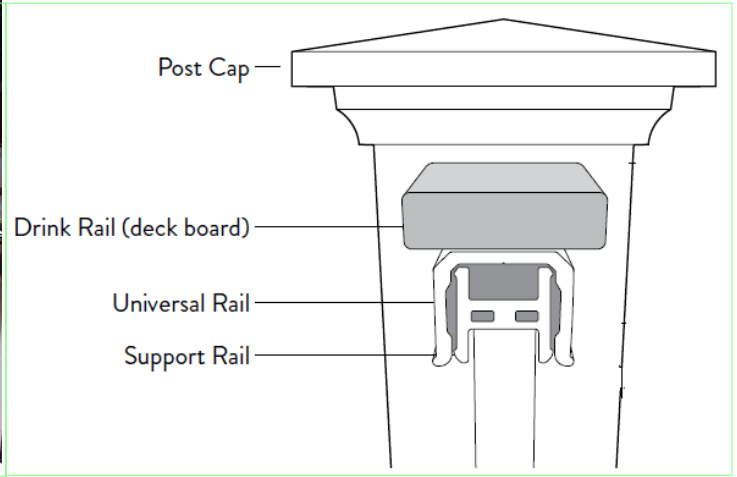
ARB REVIEW:

- Applicants must complete the **ARB Application** – (see Page 1)
- As per the **Submission Requirements** – (see Page 2) each application must include: application form, scaled drawings, photographs, material samples, etc.
- Application Fee – check the [Building Department Schedule of Fees](#) for current charges
- Submit six (6) packets for review – (see Page 2)
- Applications will be reviewed and require ARB approval before a permit will be issued
- Please check the [Village calendar](#) for submission deadlines and public hearing dates
- Applications may require Planning and/or Zoning Board approval

All applications must be delivered in person to the Building Department

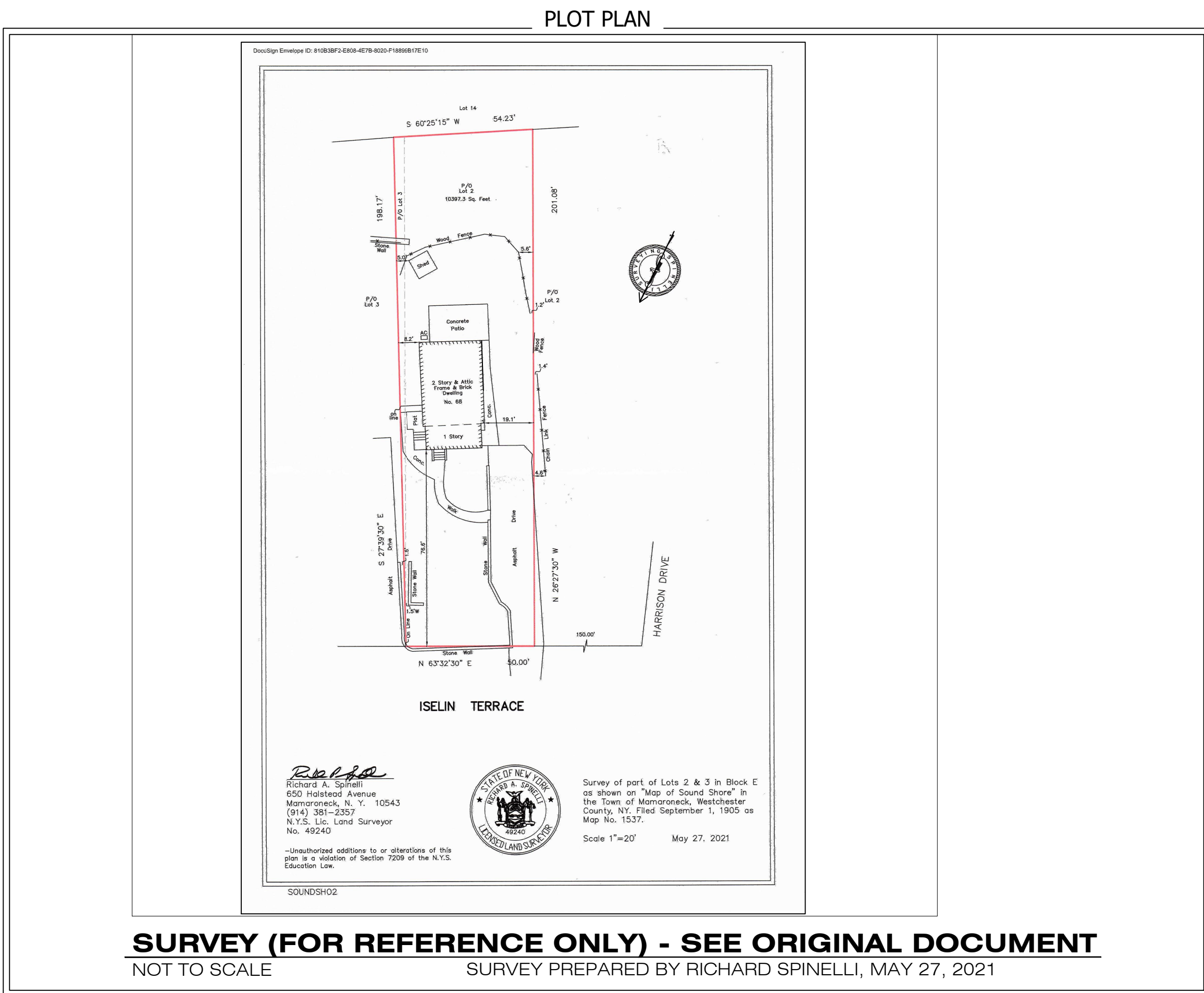
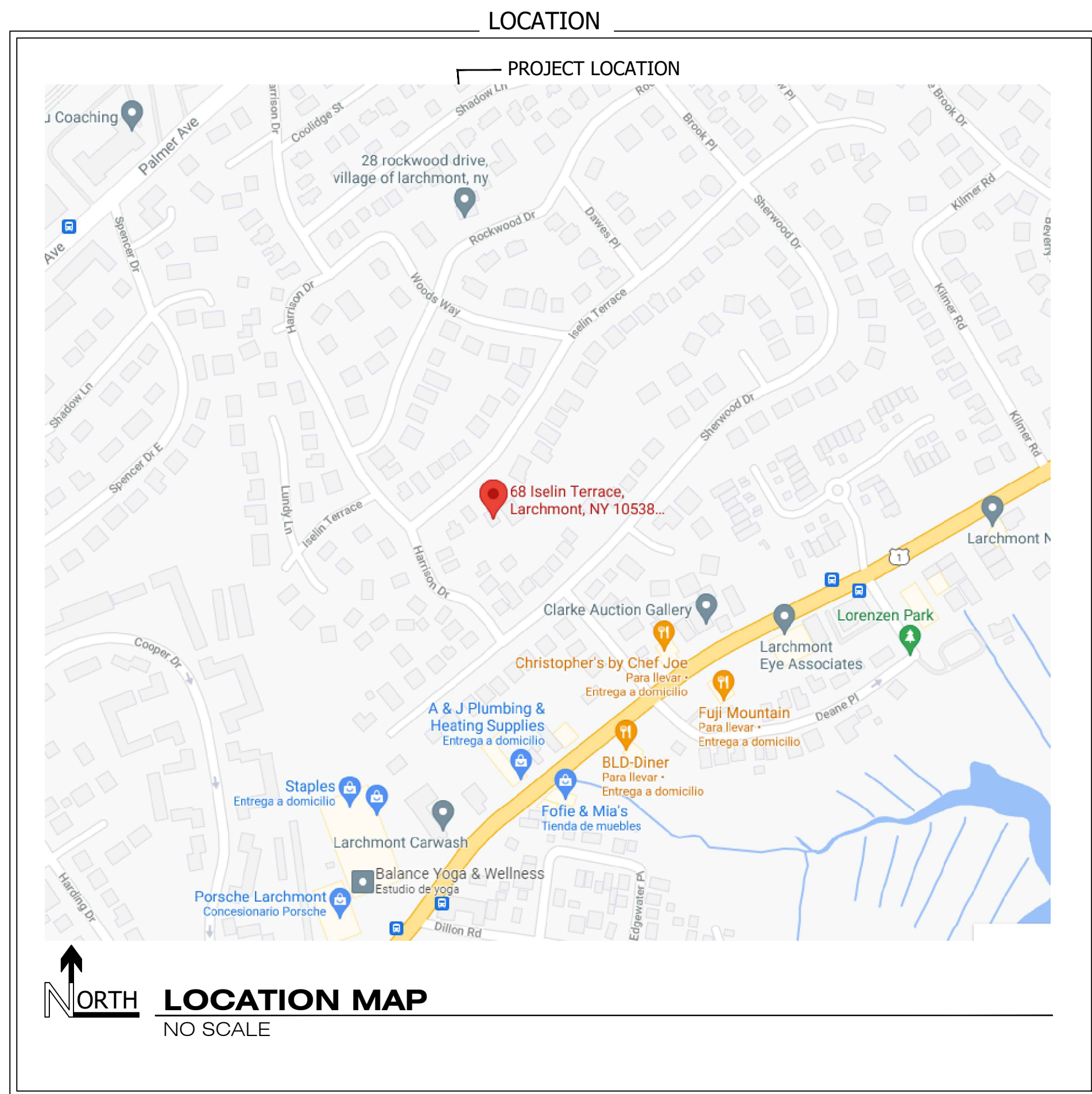
In order to ensure the most expedient review of your application, please meet all **Submission requirements**

Incomplete application packages may not be accepted / reviewed



DRINK RAIL AND DETAIL

Lundquist Residence
Addition and Renovation
68 Iselin Terrace
Larchmont, New York 10538



PROJECT NAME

LUNDQUIST RESIDENCE

ADDITION AND INTERIOR RENOVATION

**68 ISELIN TERRACE
LARCHMONT, NEW YORK 10538**

SCOPE OF WORK

FIRST AND SECOND FLOOR ADDITIONS
INTERIOR RENOVATION

THERMAL CRITERIA

2020 ENERGY CONSERVATION CODE OF NEW YORK STATE
CLIMATE ZONE 4
MINIMUM R-VALUE OF WALLS - R-21
MINIMUM R-VALUE OF CEILINGS - R-49
MINIMUM U-VALUE OF FENESTRATIONS - U-32

CLIMATIC AND GEOGRAPHICAL CRITERIA

2020 RESIDENTIAL CODE OF NEW YORK STATE
GROUND SNOW LOAD : 30 PSF
WIND SPEED : 110 MPH
SEISMIC DESIGN CATEGORY : C
FROST DEPTH : 42"
WEATHERING : SEVERE
TERMITE : MODERATE TO HEAVY
FLOOD HAZARD : NOT APPLICABLE

PSF = POUNDS PER SQUARE FOOT

STRUCTURAL CRITERIA

2020 RESIDENTIAL CODE OF NEW YORK STATE
LIVE LOAD:
LIVING AREAS AND DECK : 40 PSF
BEDROOMS: 30 PSF
DEAD LOAD : 10 PSF
GROUND SNOW LOAD: 30 PSF
ALL STRUCTURAL LUMBER SHALL BE:
DOUGLAS FIR #2, $f_b=900$, $E=1,400,000$ (OR BETTER)

PSF = POUNDS PER SQUARE FOOT

DRAWING INDEX

T-1	TITLE SHEET
A - 0.1	MAP AND PHOTOS
A - 0.2	TAX MAP
A - 0.3	SHADOW STUDY
A - 1.1	EXISTING SITE PLAN
A - 1.2	PARTIAL EXISTING AND PROPOSED SITE PLANS
A - 1.3	LANDSCAPING PLANS
A - 1.4	ARBORIST REPORT
A - 2	EXISTING BASEMENT AND FIRST FLOOR PLANS
A - 3	EXISTING ROOF PLAN
A - 4	BASEMENT AND FIRST FLOOR DEMOLITION PLANS
A - 5	ROOF DEMOLITION PLAN
A - 6	PROPOSED BASEMENT AND FIRST FLOOR PLANS
A - 7	PROPOSED SECOND FLOOR AND ROOF PLANS
A - 8	PROPOSED REFLECTED CEILING PLANS
A - 9	EXISTING AND PROPOSED EXTERIOR FRONT ELEVATIONS
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A - 11	EXISTING AND PROPOSED EXTERIOR REAR ELEVATIONS
A - 12	EXISTING AND PROPOSED EXTERIOR LEFT SIDE ELEVATIONS

OWNER PROVIDED ITEMS

THE FOLLOWING ITEMS WILL BE PROVIDED BY THE OWNER AND INSTALLED BY THE GENERAL CONTRACTOR:

- SURFACE MOUNTED LIGHT FIXTURES PER THE LIGHTING SCHEDULE (AS NOTED WITH *)
- APPLIANCES
- COUNTERTOPS
- CLOSET ORGANIZATION SYSTEMS
- CABINETS (EXCEPT AS NOTED)
- LANDSCAPING AND IRRIGATION SYSTEM

MATERIAL

	EARTH		BATT INSULATION
	GRAVEL		PLYWOOD
	CONCRETE		ROUGH WOOD
	CMU		FINISHED WOOD
	BRICK		GYPSUM BOARD
	STEEL		GLASS
	RIGID INSULATION		

SYMBOLS

	ELEVATION No. \rightarrow 1 SHEET No. \rightarrow A-4.1
	DOOR No. \rightarrow X
	W1
	FIRST FLOOR EL. = 100'-0"
	DETAIL No. \rightarrow 1 SHEET No. \rightarrow A-1

BY OWNER

THE FOLLOWING ITEMS ARE TO BE PROVIDED BY THE OWNER AND INSTALLED BY THE GENERAL CONTRACTOR:

- SURFACE MOUNTED LIGHTS (LIGHTING PER SCHEDULE*)
- CLOSET SHELVING SYSTEMS
- CABINETS/ VANITY
- COUNTER TOPS
- APPLIANCES
- TILE/ GROUT
- LANDSCAPING

GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- THE ARCHITECT CERTIFIES THESE DRAWINGS TO BE IN COMPLIANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE AND THE 2015 ENERGY CONSERVATION CONSTRUCTION CODE. SEE "BUILDING ENVELOPE THERMAL COMPONENTS CRITERIA" FOR ENERGY COMPLIANCE INFORMATION.
- ALL CONSTRUCTION IS TO CONFORM WITH ALL APPLICABLE CODES, ORDINANCES, ETC. INCLUDING THE 2015 INTERNATIONAL RESIDENTIAL CODE AND THE 2015 ENERGY CONSERVATION CODE.
- THE WORK TO BE PROVIDED ON THIS PROJECT SHALL INCLUDE ALL NECESSARY COMPONENTS EVEN THOUGH NOT SPECIFICALLY MENTIONED OR SHOWN; AND THE CONTRACTOR SHALL NOT AVAIL HIMSELF OF ANY MANIFESTLY UNINTENTIONAL OMISSIONS, SHOULD THEY EXIST. THESE DRAWINGS REPRESENT A "BUILDER SET" OF DRAWINGS AND ARE TO BE USED AS A GUIDE TO THE CONSTRUCTION PROCESS. THEY DO NOT REPRESENT A FULL OR COMPLETE ARCHITECTURAL SERVICE.
- ARCHITECT SUPERVISION OF CONSTRUCTION IS NOT INCLUDED WITH THESE DRAWINGS. THEREFORE THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR WORKMANSHIP, CODE OR PLAN COMPLIANCE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL MATERIALS, DIMENSIONS, DETAILS AND CONDITIONS AND SHALL REPORT ANY ALLEGED DIFFERENCES OR DISCREPANCIES AT ONCE TO THE OWNER.
- IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND REFERENCED STANDARDS OF THESE SPECIFICATIONS THE MORE STRINGENT PROVISIONS SHALL GOVERN.
- STRUCTURAL SPECIFICATIONS AND DRAWINGS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ARCHITECTURAL PRACTICE TO MEET MINIMUM REQUIREMENTS OF THE RESIDENTIAL CODE OF NEW YORK STATE.
- CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE NOR SHALL THEY BE IN EXCESS OF DESIGN LOADING INDICATED ON DRAWINGS.
- ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS MEANS, METHODS, TECHNIQUES OR SEQUENCES OF CONSTRUCTION AND THE SAFETY PROCEDURES EMPLOYED BY HIM.
- BUILDING INSPECTOR NOTE THAT THESE PLANS ARE INVALID...
A. IF ALTERED.
B. IF NOT STAMPED BY A NEW YORK STATE REGISTERED ARCHITECT WHOSE SEAL MUST BE EITHER IMPRESSED OR ORIGINALLY STAMPED.
C. IF NOT COLLATED WITH ALL PRESCRIBED SHEETS, INCLUDING THESE NOTES.
- ALL CHANGES TO THESE PLANS MAY ONLY BE APPROVED WITH THE CONSENT OF THE ARCHITECT AND OWNER.
- ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL BE HANDLED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PROVISIONS. WHERE SPECIFIC MANUFACTURED PRODUCTS ARE CALLED FOR, GENERIC EQUALS, WHICH MEET APPLICABLE STANDARDS AND SPECIFICATIONS, MAY BE USED.
- IN THE ABSENCE OF A SOILS REPORT THE DRAWINGS SHOWING THE FOOTINGS, FOUNDATION AND SLAB ARE TO BE USED AS A GUIDE TO THEIR CONSTRUCTION AND ARE NOT BASED ON ACTUAL SOIL CONDITIONS AT THE CONSTRUCTION SITE.
- ALL INTERIOR AND EXTERIOR INFILL WALLS SHALL BE 2X4 STUDS @ 16" O.C. EXCEPT WHERE NOTED.
- RELOCATE EXISTING SUPPLY AND RETURN DIFFUSERS/DUCTWORK AS REQUIRED.
- ALL EXHAUST FANS, RANGE HOODS AND DRYERS SHALL VENT TO THE OUTSIDE THROUGH SHEET METAL DUCTS. CAULK AROUND ALL PENETRATIONS THROUGH EXTERIOR.
- ALL ELECTRICAL WORK SHALL BE SUPPLIED BY A COMPONENT LICENSED ELECTRICAL CONTRACTOR AND SHALL CONFORM TO THE 1999 ELECTRICAL CODE.
- ALL PLUMBING WORK SHALL CONFORM TO THE 2015 INTERNATIONAL RESIDENTIAL CODE AND ALL LOCAL LAWS. ALL PLUMBING WORK SHALL BE PROVIDED BY A LICENSED PLUMBING CONTRACTOR.
- ALL PIPE PENETRATIONS OF FLOOR AND FIRE RATED WALL ASSEMBLIES SHALL HAVE FIRE STOP SEALANT BOTH SIDES TYPICAL OF 3M CP 25N/S CAULK OR ACCEPTABLE EQUAL PER MANUFACTURER'S RECOMMENDATIONS.
- THE ARCHITECT CERTIFIES THESE DRAWINGS ARE IN COMPLIANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE FOR TERMITE PROTECTION (R318) BY REQUIRING PRESSURE PRESERVATIVE TREATED WOOD AS PRESCRIBED IN SECTION R317.1 AND FOR PROTECTION AGAINST DECAY (R317).
- ALL INSULATION MATERIALS SHALL BE INSTALLED IN COMPLIANCE WITH THE BUILDING CODE. VAPOR BARRIERS SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE INSULATION. NO EXPOSED VAPOR BARRIERS SHALL BE PERMITTED, RATHER VAPOR BARRIERS SHALL BE COVERED WITH CODE COMPLIANT COVERING.

CODE AND BUILDING DATA

HABITABLE AREA - SQUARE FEET	EXISTING	PROPOSED ADDITION	TOTAL
FIRST FLOOR	966	347	1,313
SECOND FLOOR	576	741	1,317
TOTAL	1,542	1,088	2,630
NON HABITABLE AREA - SQUARE FEET	EXISTING	PROPOSED ADDITION	TOTAL
BASEMENT	825	0	825 *
BIKE SHED	0	59	59
TOTAL	825	59	884
VILLAGE OF LARCHMONT-SCHEDULE OF DIMENSIONAL REGULATIONS			
ZONING DISTRICT: R - 7.5 LOT SIZE IS: 10,397 SF			
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA - SQUARE FEET	7,500	10,397	10,397 *
MINIMUM LOT WIDTH	65'	50'	50' *
MINIMUM YARD DIMENSIONS - PRINCIPAL BUILDING			
FRONT YARD	30'	76.6'	55.0'
EXISTING STRUCTURE			
ONE SIDE YARD	10'	8.2'	8.2' *
BOTH SIDE YARDS	22'	27.3'	27.3' *
PROPOSED ADDITION			
ONE SIDE YARDS	10'		10.2'
BOTH SIDE YARDS	22'		23.0'
REAR YARD	25'	80.3'	80.3' *
	ALLOWED	EXISTING	PROPOSED
MAXIMUM PERCENTAGE OF LOT TO BE OCCUPIED			
PRINCIPAL BUILDING	25%	9.4%	13.3%
ACCESSORY BUILDING (DETACHED SHED - EXISTING - 65 SF)	6 %	0.6 %	0.6 %
MAXIMUM HEIGHT			
PRINCIPAL BUILDING (STORIES)	2.5	2	2
PRINCIPAL BUILDING (FEET)	30'	21.7'	24.8'
GROSS RESIDENTIAL FLOOR AREA PER LOCAL LAW 11-2016			
BASEMENT		825	825
FIRST FLOOR		966	1,313
SECOND FLOOR		576	1,317
TOTAL SQUARE FOOTAGE	5,199	2,367	3,455
TOTAL FLOOR AREA RATIO $(.64 \cdot ((10,397 - 4,000) / 1000 \cdot 0.02)) =$.50	.228	.332
TOTAL FLOOR AREA < 3500 SF: NO SETBACK ADJUSTMENT REQUIRED			
LOT COVERAGE PER LOCAL LAW 12-2016 (SF)	ALLOWED	EXISTING	PROPOSED
	45 %	30.3 %	30.3 %
	4,679	3,146	3,149
NOTE: EXISTING FLOOR AREAS WERE OBTAINED FROM TOWN OF MAMARONECK SDG WEBSITE			
* EXISTING CONDITION, NO CHANGE REQUESTED			

**LEWIS + LEWIS
ARCHITECTS**

753 FOREST AVENUE
LARCHMONT, NY 10538
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PLANNING CONSULTANT MEETING	10/5/2021
ISSUED FOR VOL. PRE-SUBMISSION CONFERENCE	10/19/2021
PRE-SUBMISSION CONFERENCE	12/1/2021
VOL. PLANNING BOARD SUBMITTAL DEADLINE	12/30/2021
PLANNING BOARD MEETING	1/18/2022
VOL. PLANNING BOARD SUBMITTAL DEADLINE	2/03/2022
PLANNING BOARD MEETING - APPROVED	2/15/2022
ARCHITECTURAL REVIEW BOARD SUBMITTAL	3/16/2022
ARCHITECTURAL REVIEW BOARD MEETING	3/30/2022

LUNDQUIST RESIDENCE

ADDITION AND RENOVATIONS

68 Iselin Terrace
Larchmont
New York 10538

NOTES

PLANNING BOARD APPROVAL
GRANTED 2/15/22

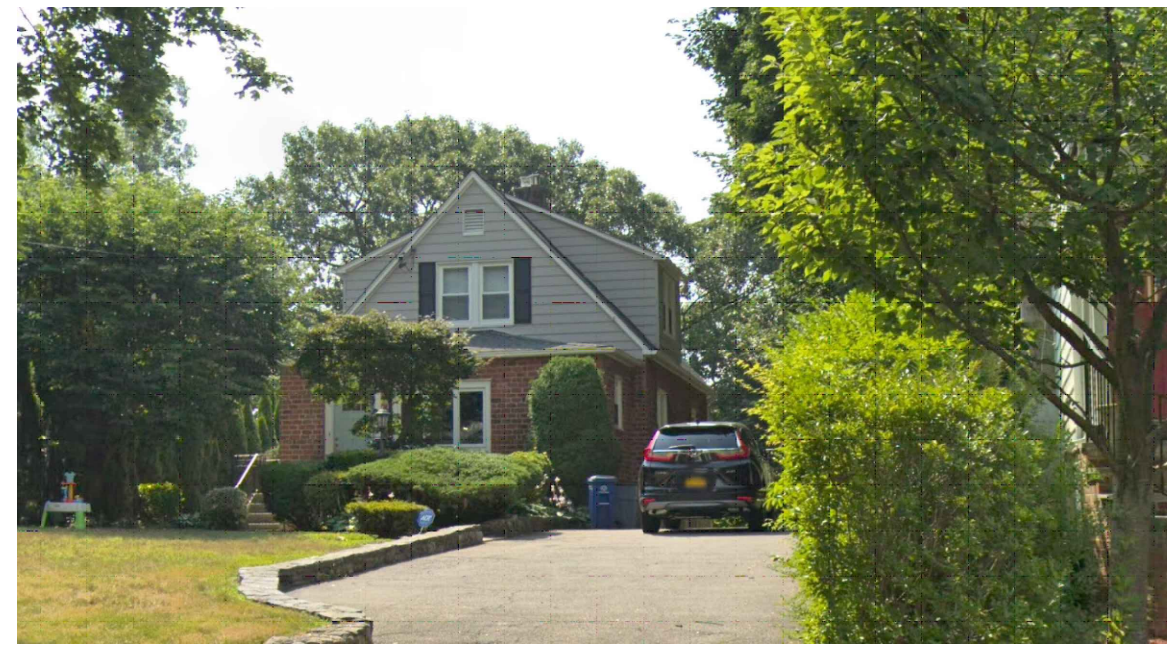
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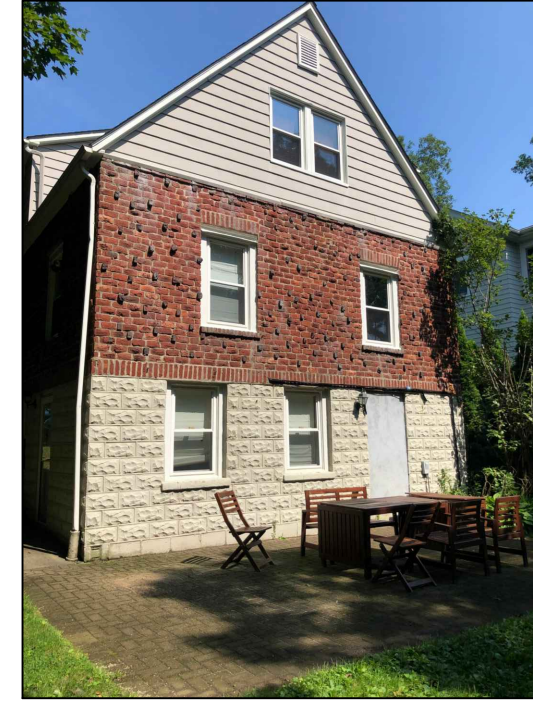
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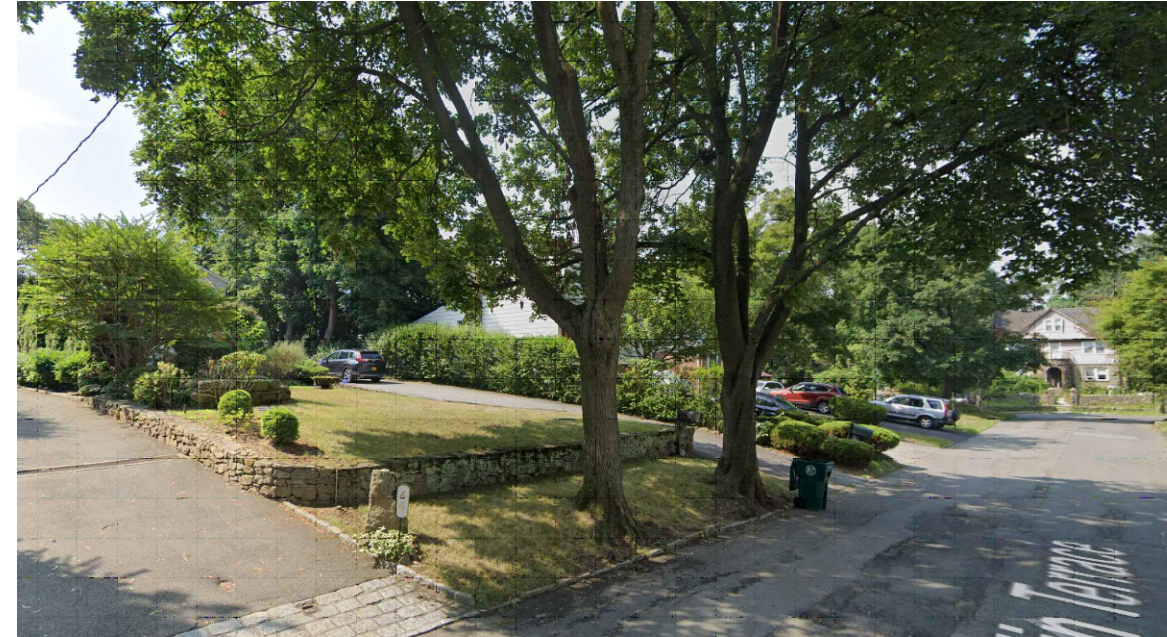
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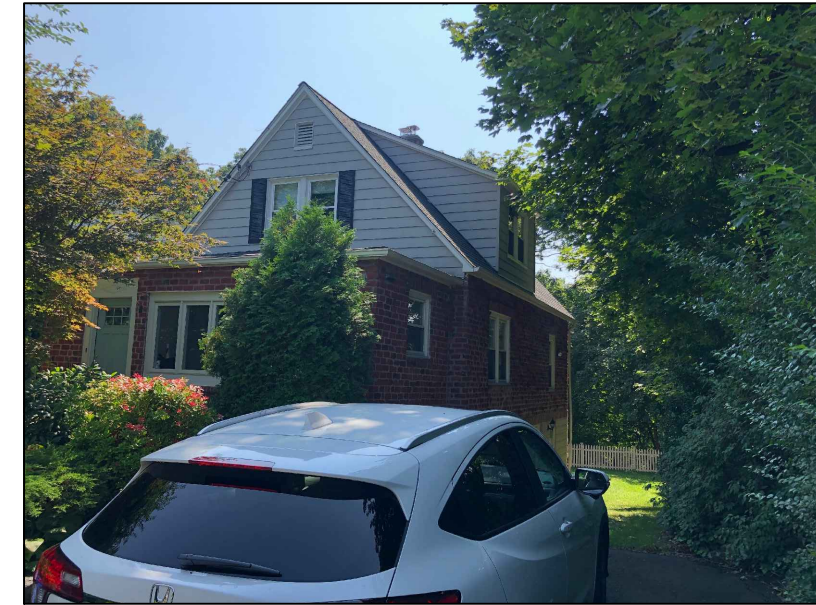
1 - 68 ISELIN TERRACE FRONT



2 - 68 ISELIN TERRACE REAR



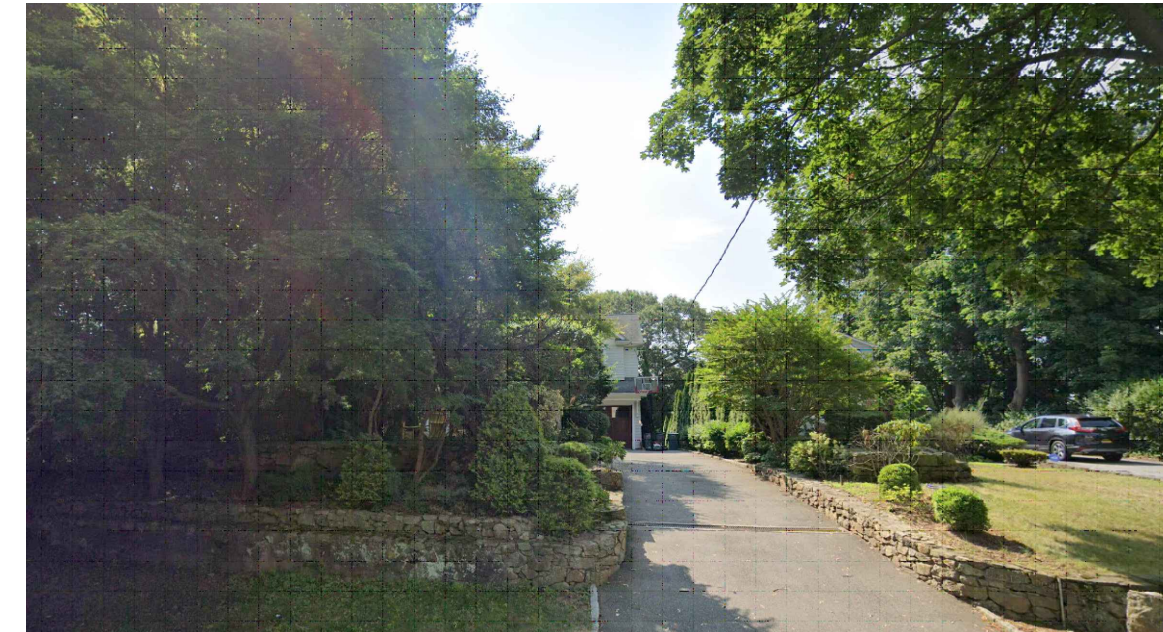
3- 68 ISELIN TERRACE LEFT



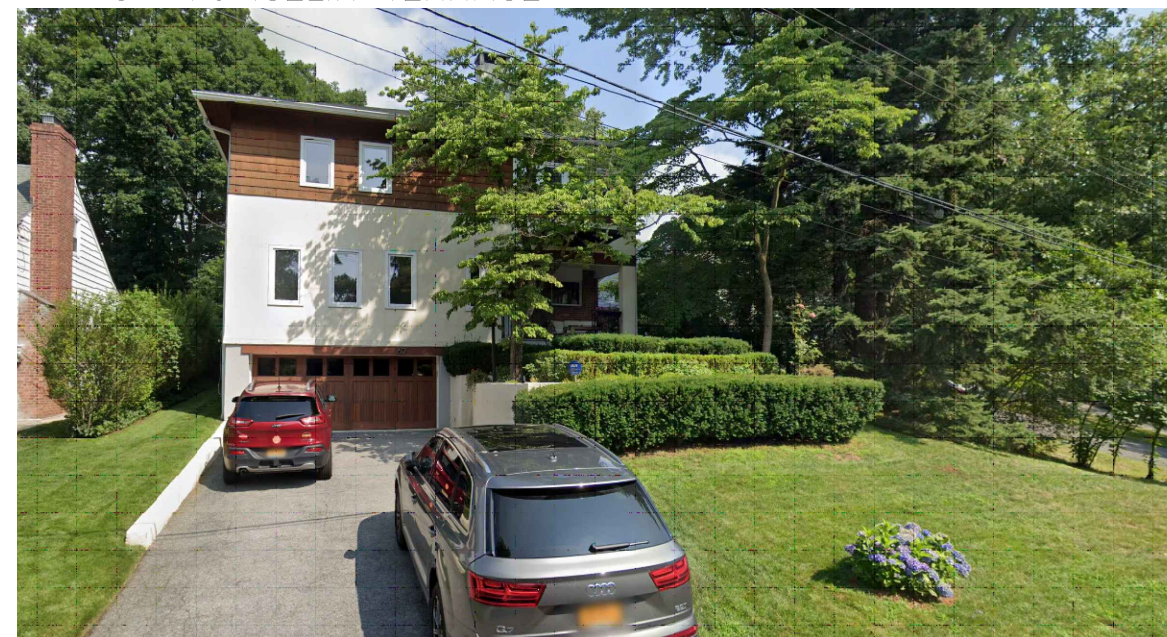
4- 68 ISELIN TERRACE RIGHT SIDE



5- 70 ISELIN TERRACE



6- 66 ISELIN TERRACE



7-67 ISELIN TERRACE



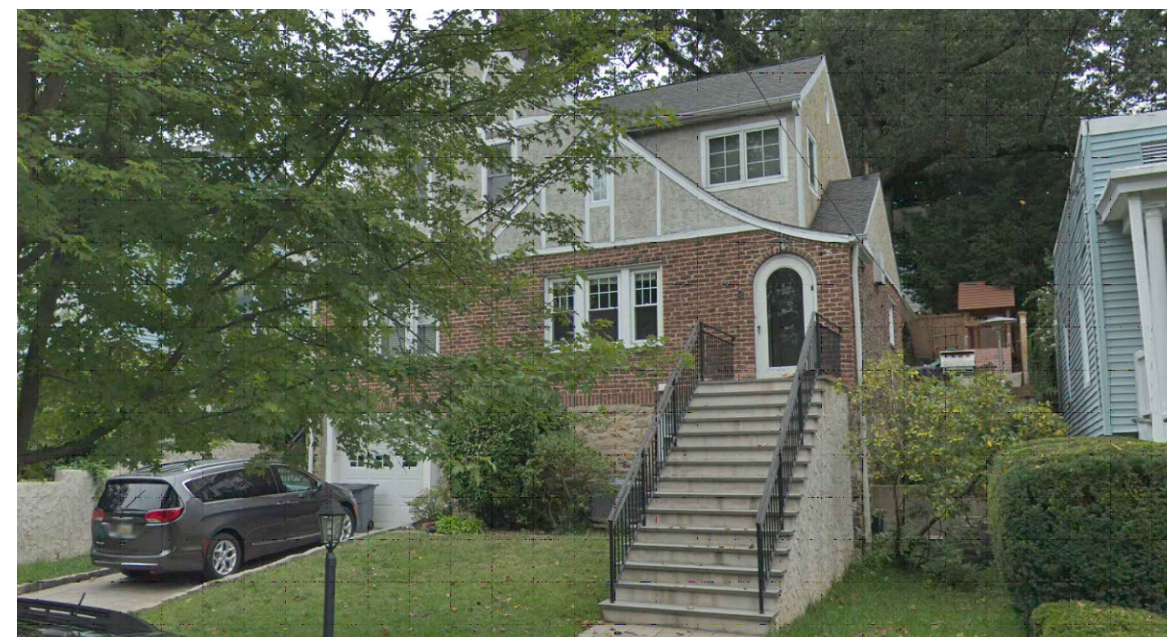
8- 69 ISELIN TERRACE



9- 71 ISELIN TERRACE



10- 50 SHERWOOD DRIVE



11- 52 SHERWOOD DRIVE

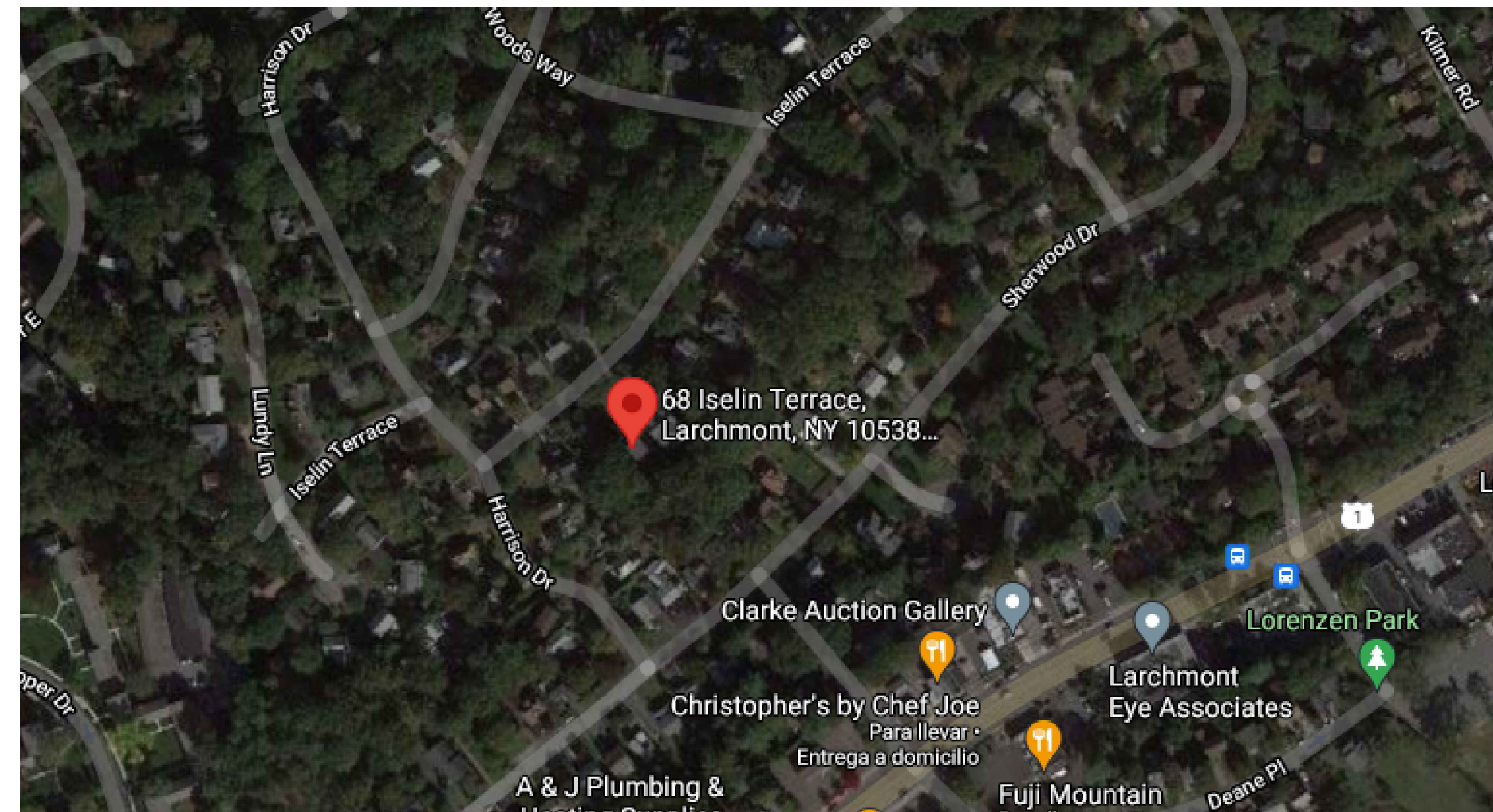


12- 54 SHERWOOD DRIVE



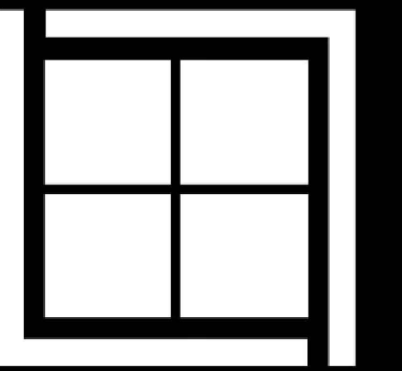
▲ ADJACENT PROPERTIES
N.T.S.

📍 LOCATION AND DIRECTION OF PHOTOGRAPH



▲ AERIAL MAP
N.T.S.

— SITE LOCATION



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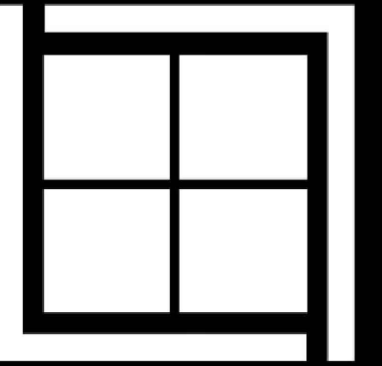
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NEIGHBORING PROPERTIES

SHEET No.

A-0.1

PHASE:



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NEIGHBORING PROPERTIES

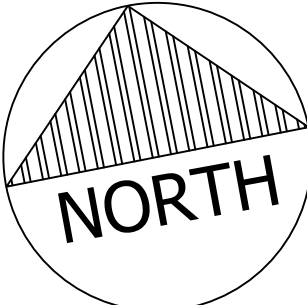
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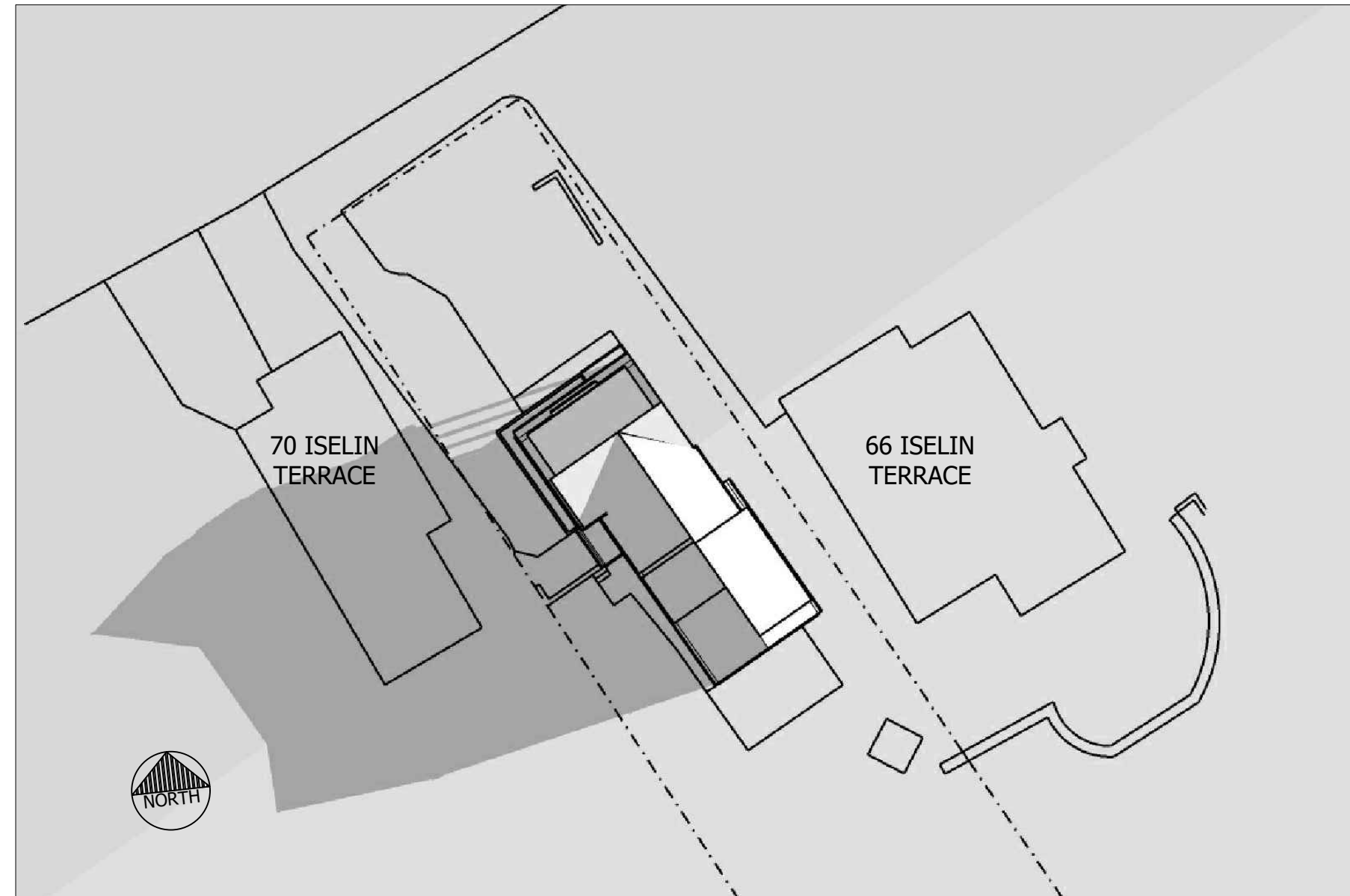
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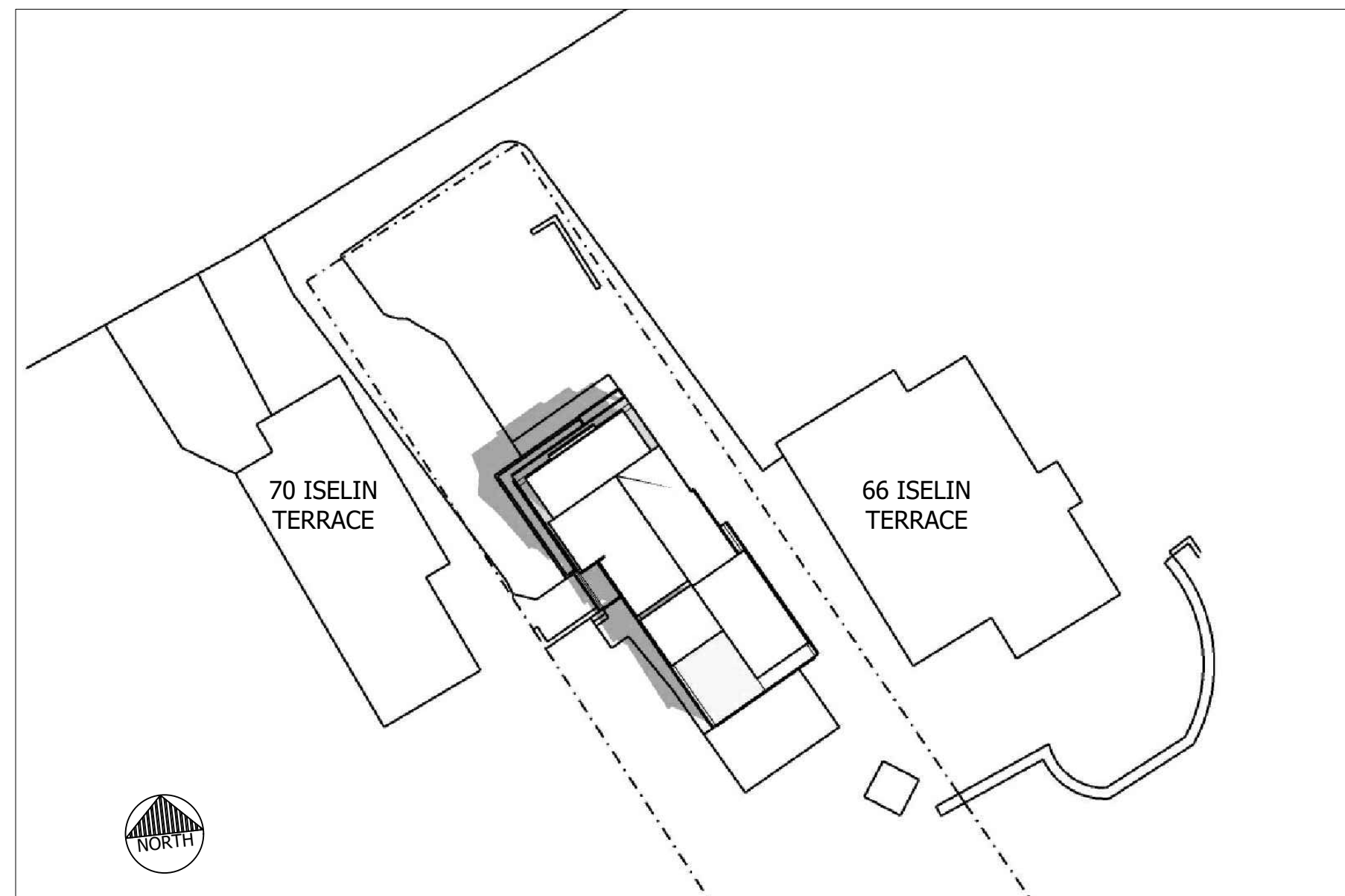
TAX MAP
SCALE : 1 / 32" = 1'-0"



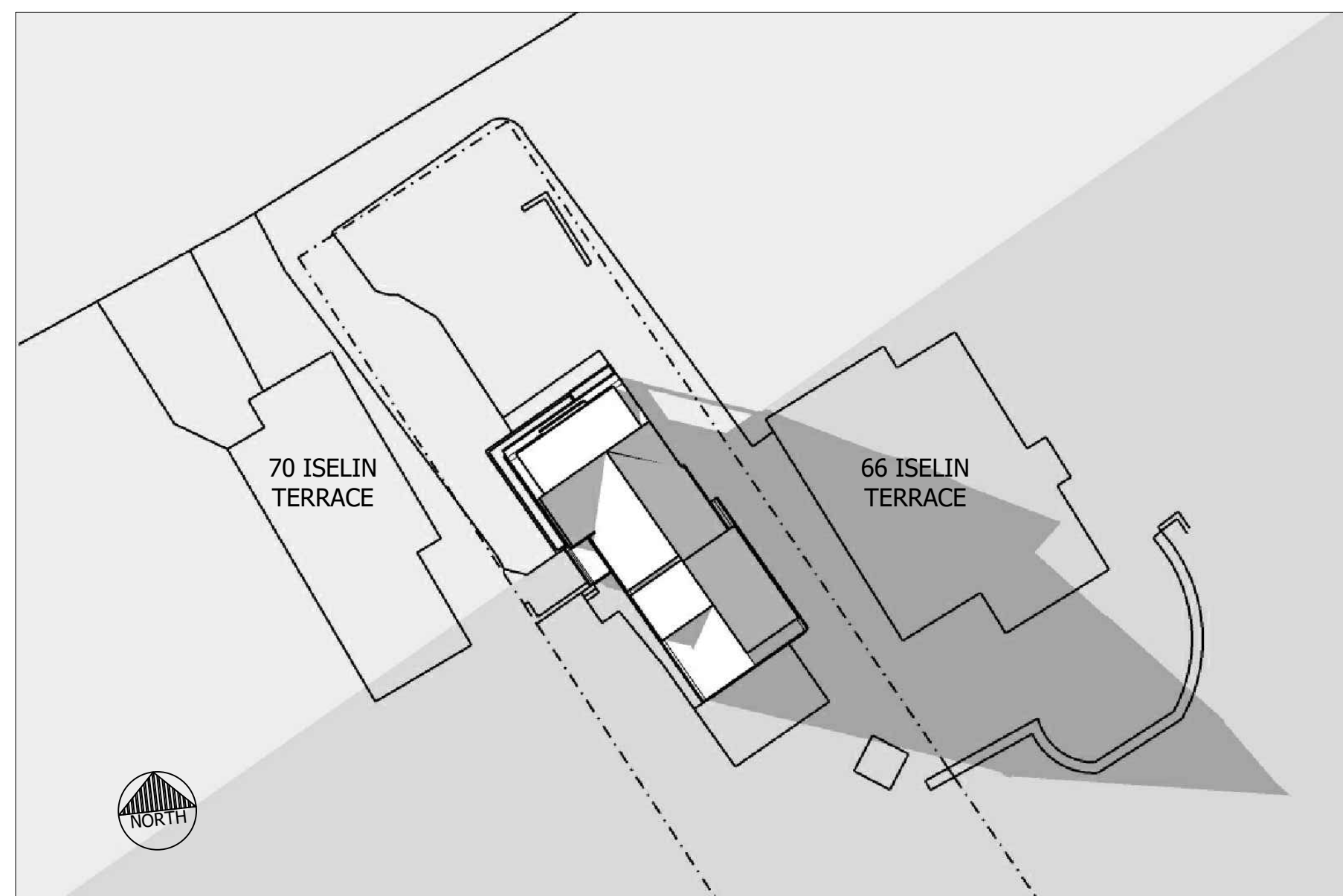
SUMMER



SHADOW STUDY: JUNE 21, 8:30 AM
SCALE : NO SCALE

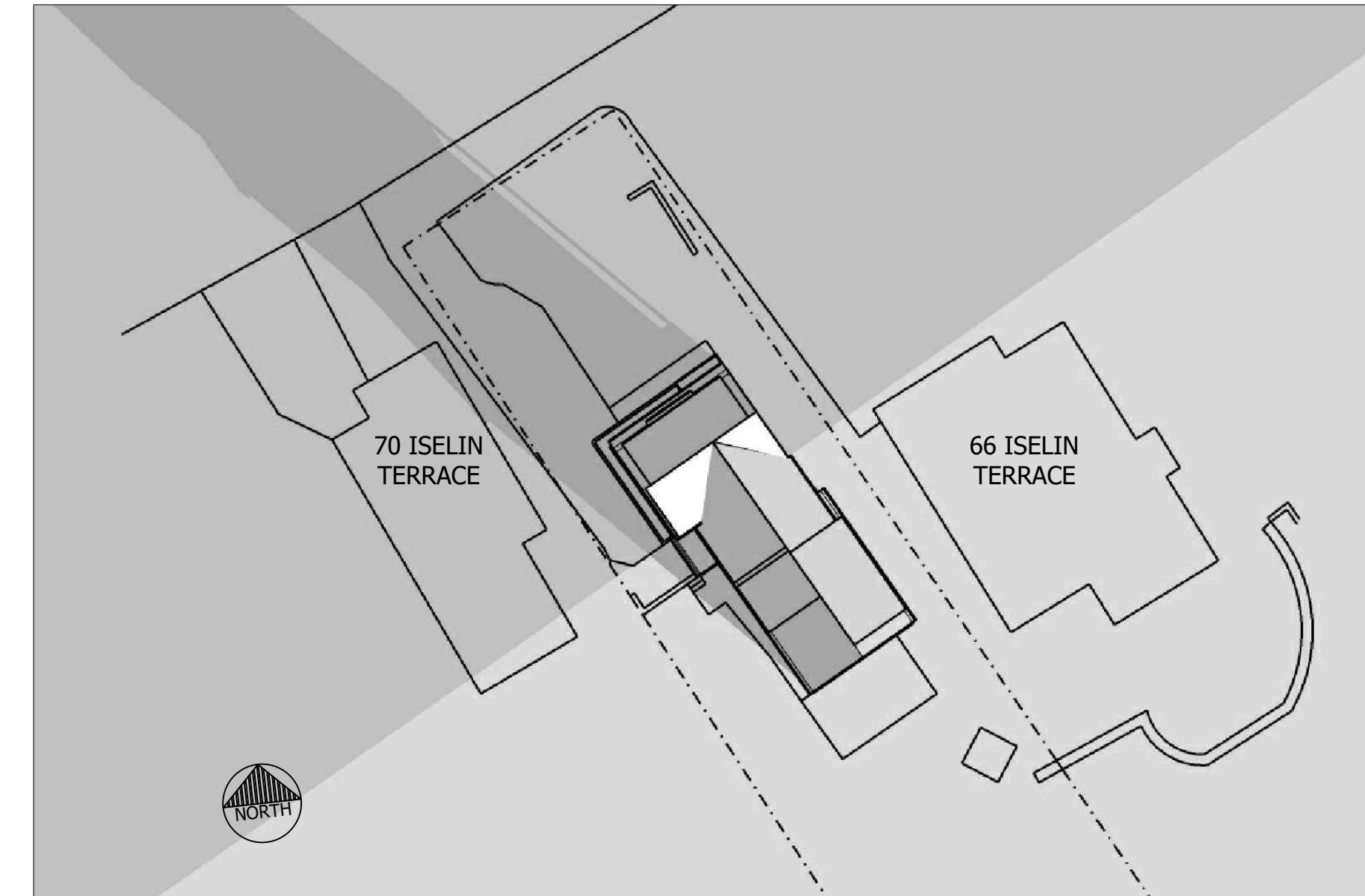


SHADOW STUDY: JUNE 21, 12 NOON
SCALE : NO SCALE

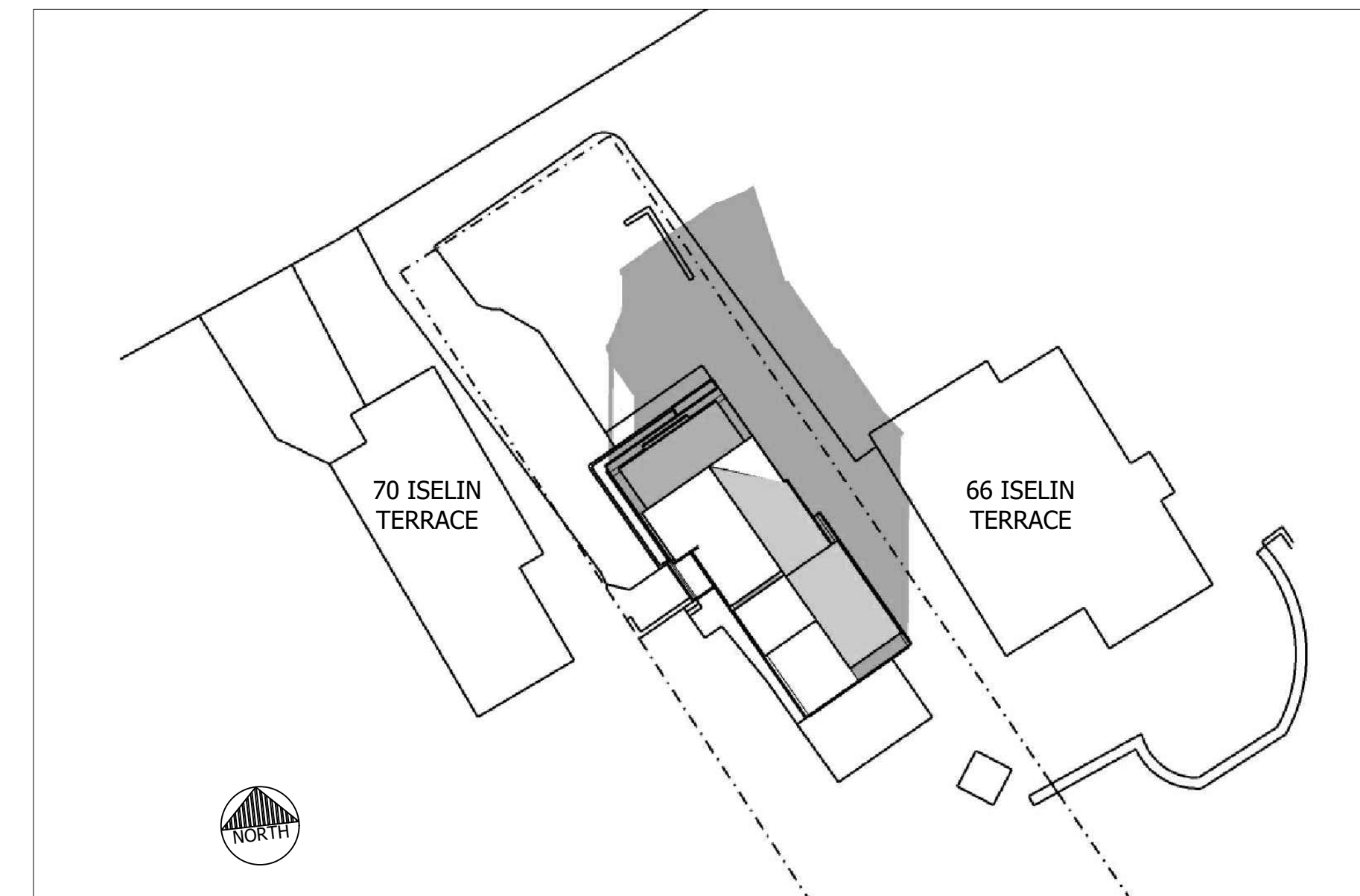


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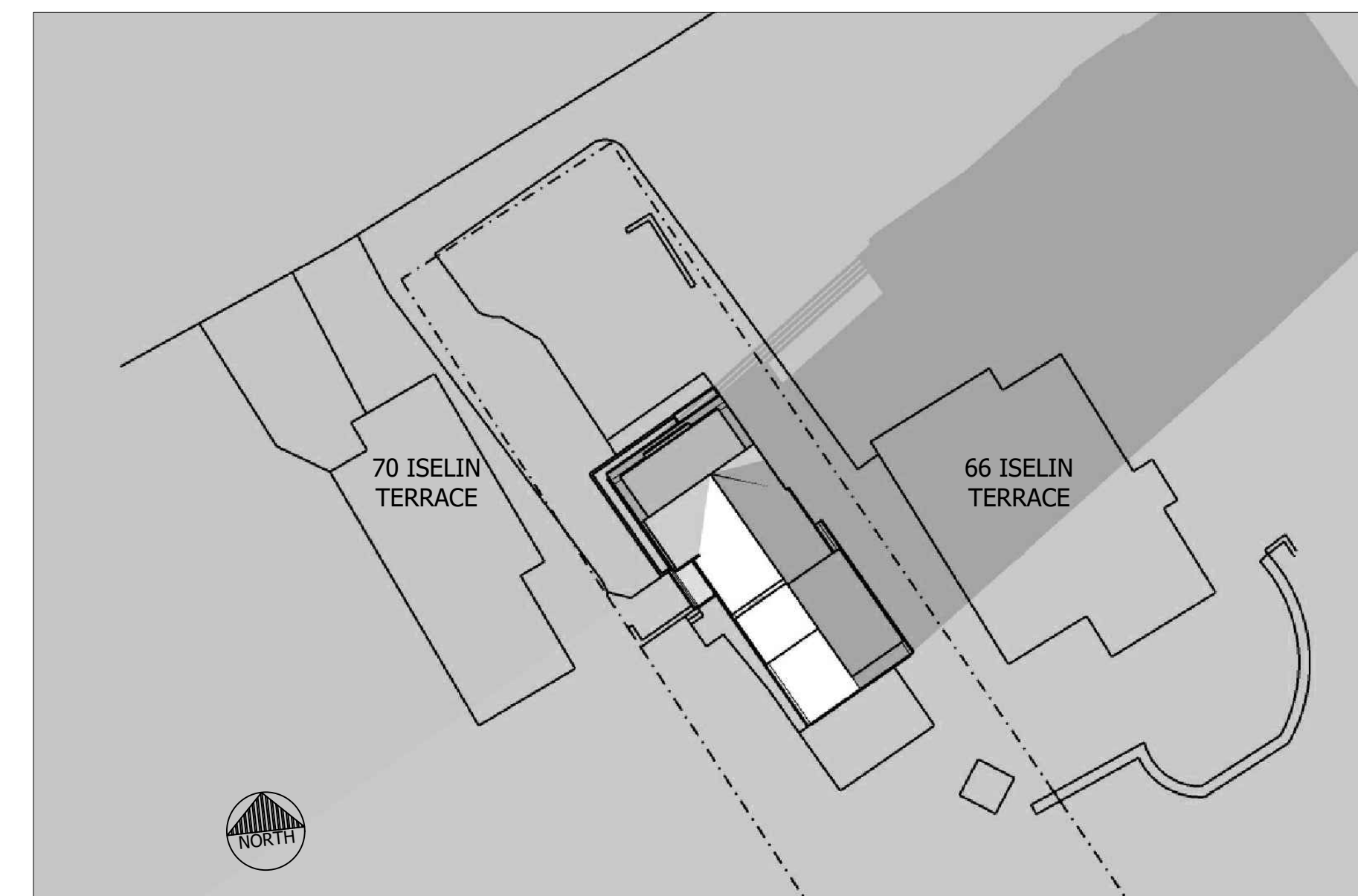
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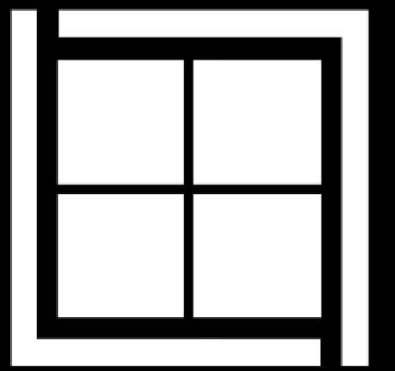
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SCALE : NO SCALE



SHADOW STUDY: DECEMBER 21, 12 NOON
SCALE : NO SCALE



SHADOW STUDY: DECEMBER 21, 3:30 PM
SCALE : NO SCALE



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VOL. PLANNING BOARD SUBMITTAL DEADLINE	2/03/2022
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ARCHITECTURAL REVIEW BOARD SUBMITTAL	3/16/2022
ARCHITECTURAL REVIEW BOARD MEETING	3/30/2022

LUNDQUIST RESIDENCE

ADDITION AND RENOVATIONS

68 Iselin Terrace
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New York 10538

NOTES

PLANNING BOARD APPROVAL
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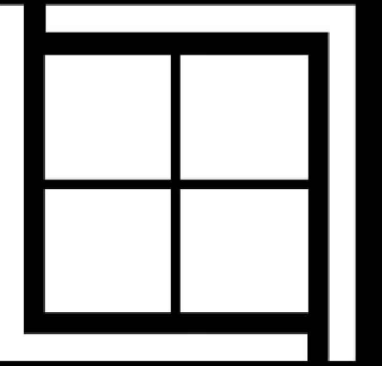
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SHADOW STUDY

SHEET No.

A-0.3

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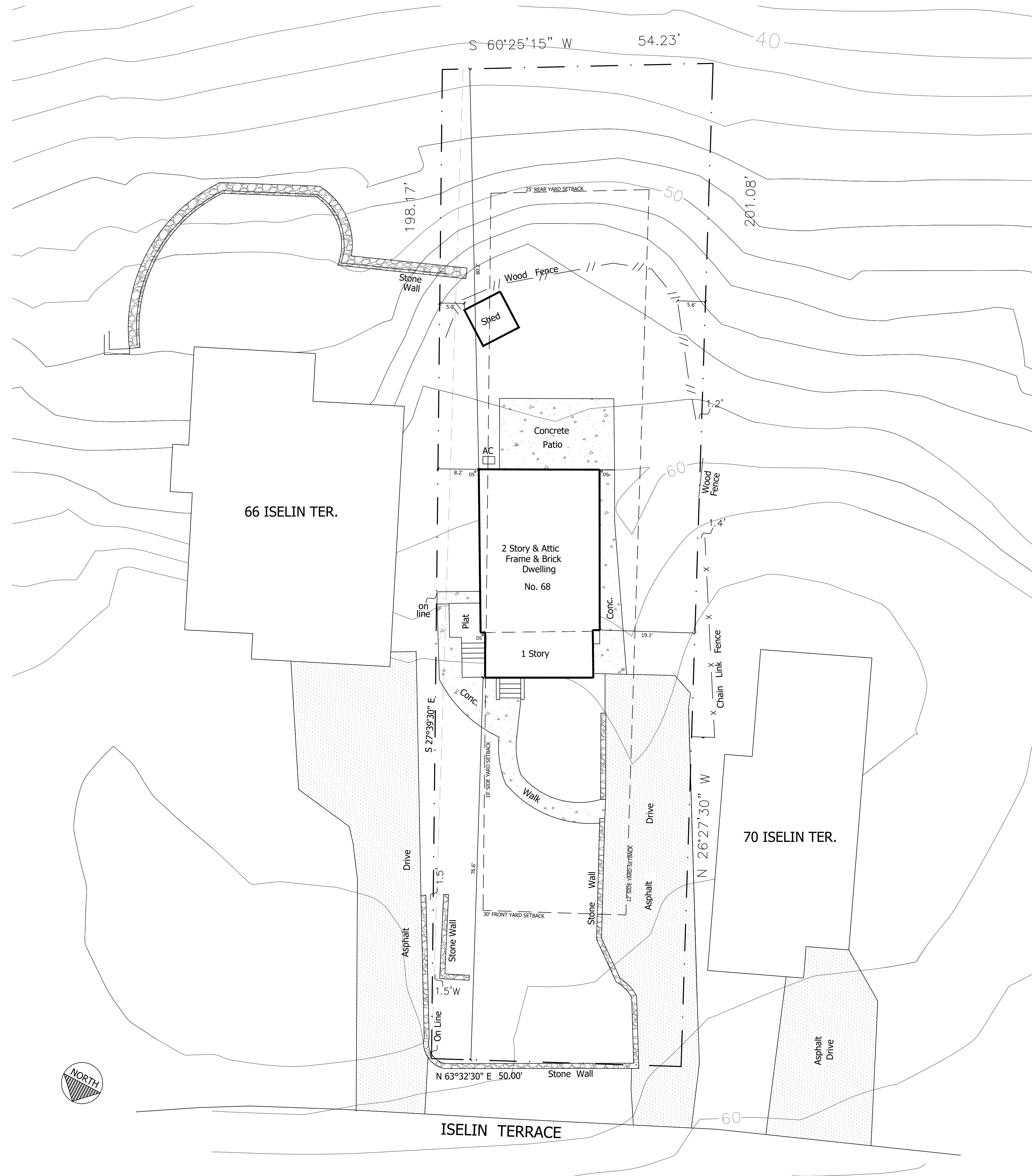
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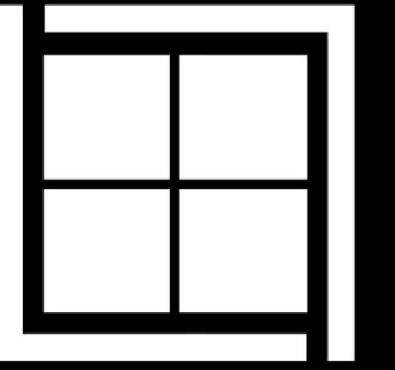
SHEET No.

A-1.1

PHASE:



EXISTING SITE PLAN
SCALE : 3 / 32" = 1'-0"



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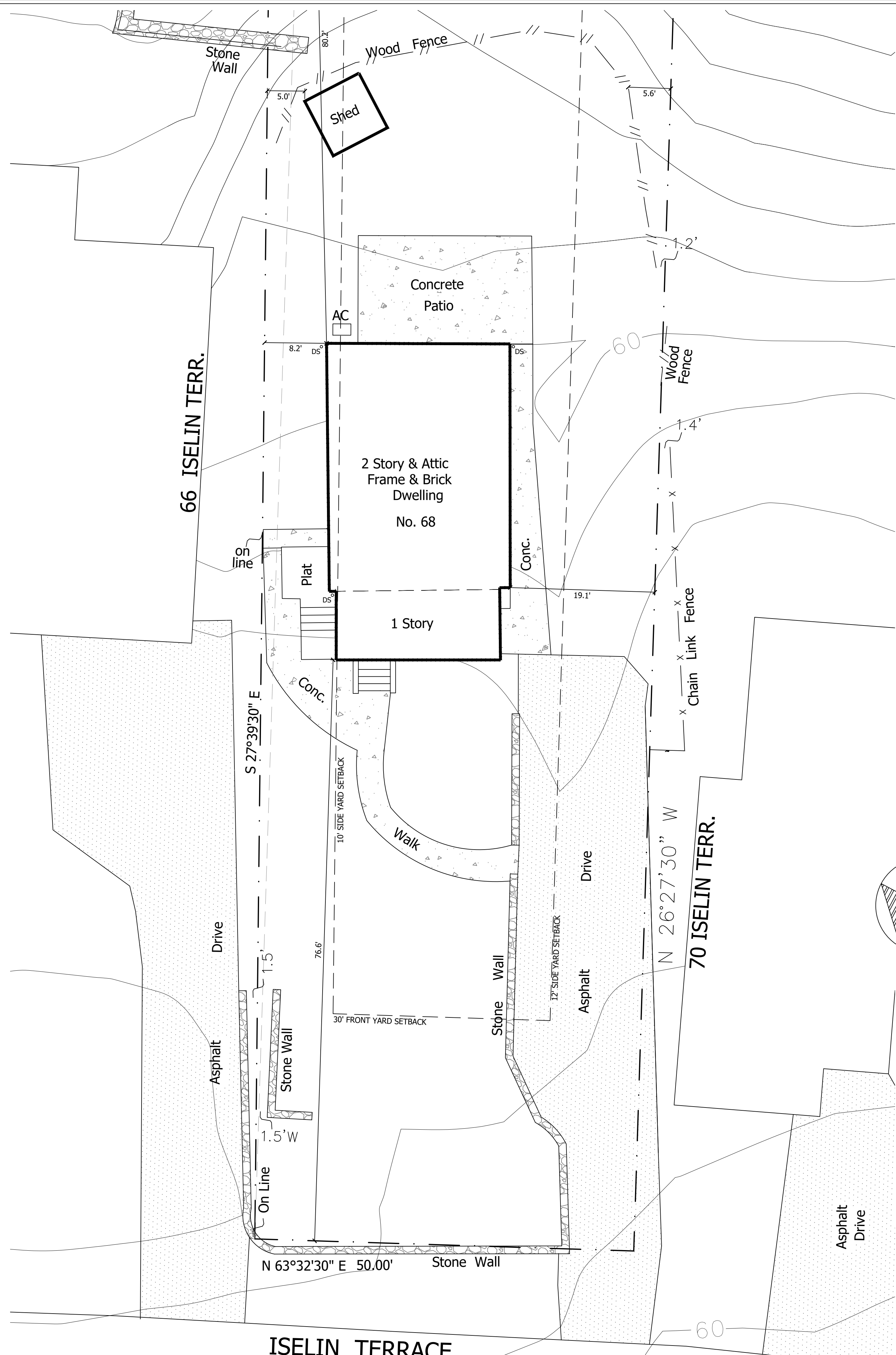
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**PARTIAL EXISTING
AND PROPOSED
SITE PLANS**

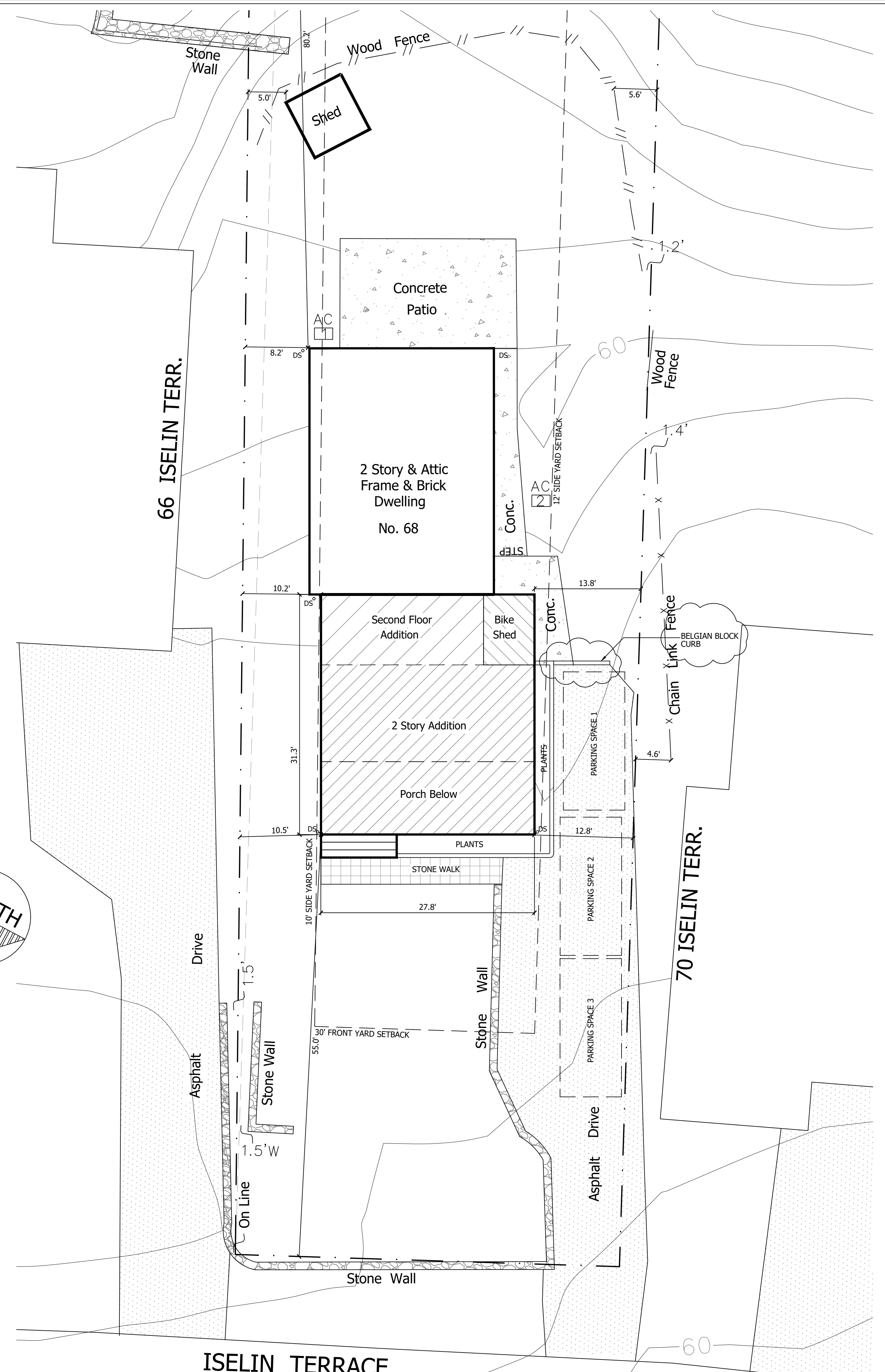
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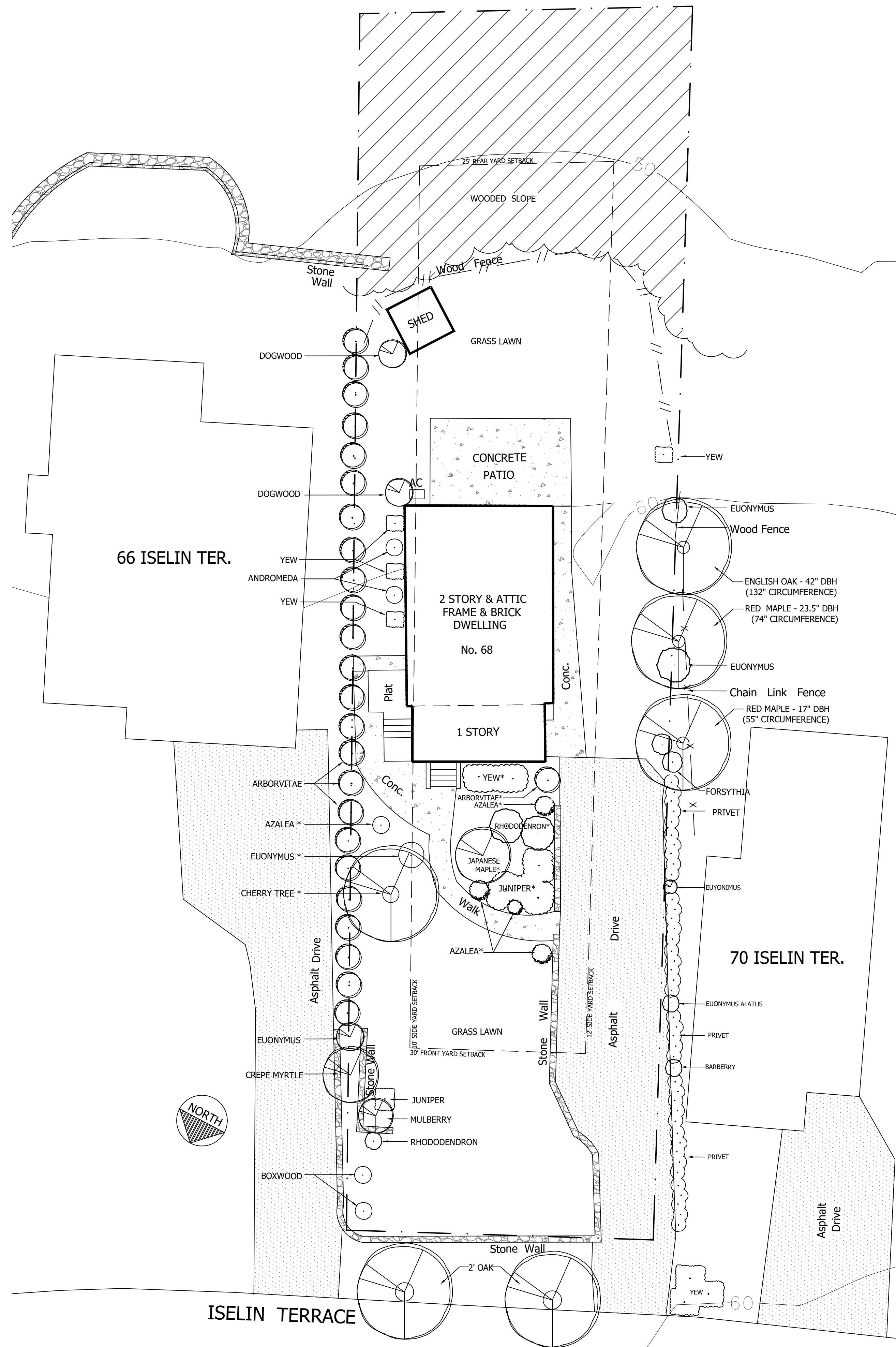
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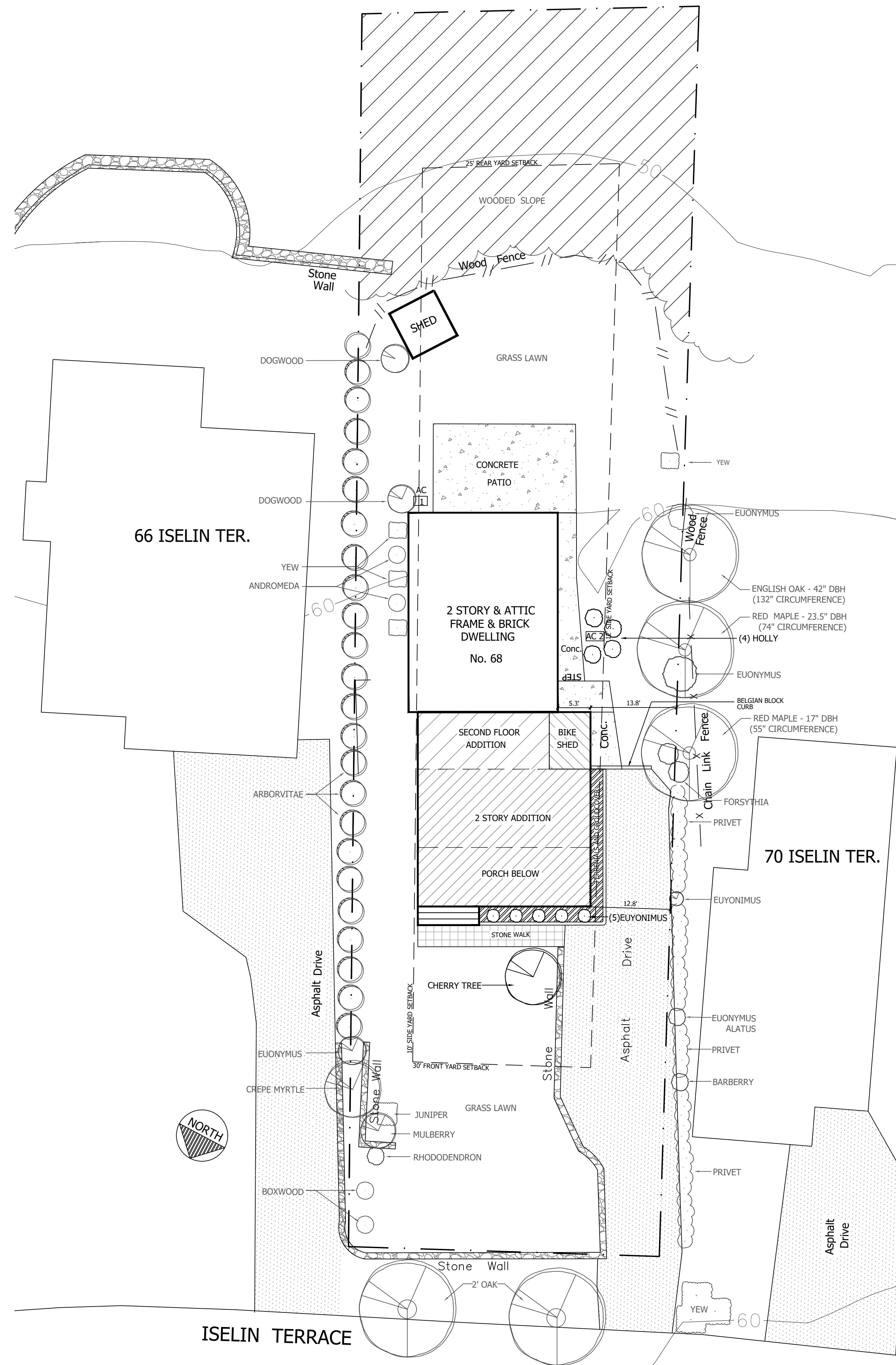
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SCALE : 1 / 8" = 1'-0"



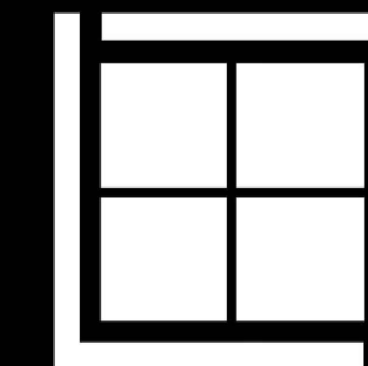
PARTIAL PROPOSED SITE PLAN
SCALE : 1 / 8" = 1'-0"



EXISTING LANDSCAPING PLAN * DENOTES TREE OR BUSH TO BE REMOVED
SCALE : 1/8" = 1'-0"



PROPOSED LANDSCAPING PLAN (WITH TWO ADJACENT PROPERTIES)
SCALE : 3/32" = 1'-0"



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LUNDQUIST RESIDENCE

ADDITION AND RENOVATIONS

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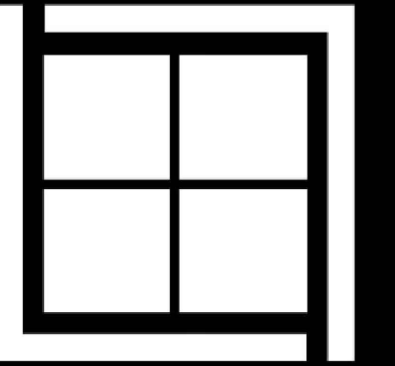
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LANDSCAPE

SHEET No.

A-1.3

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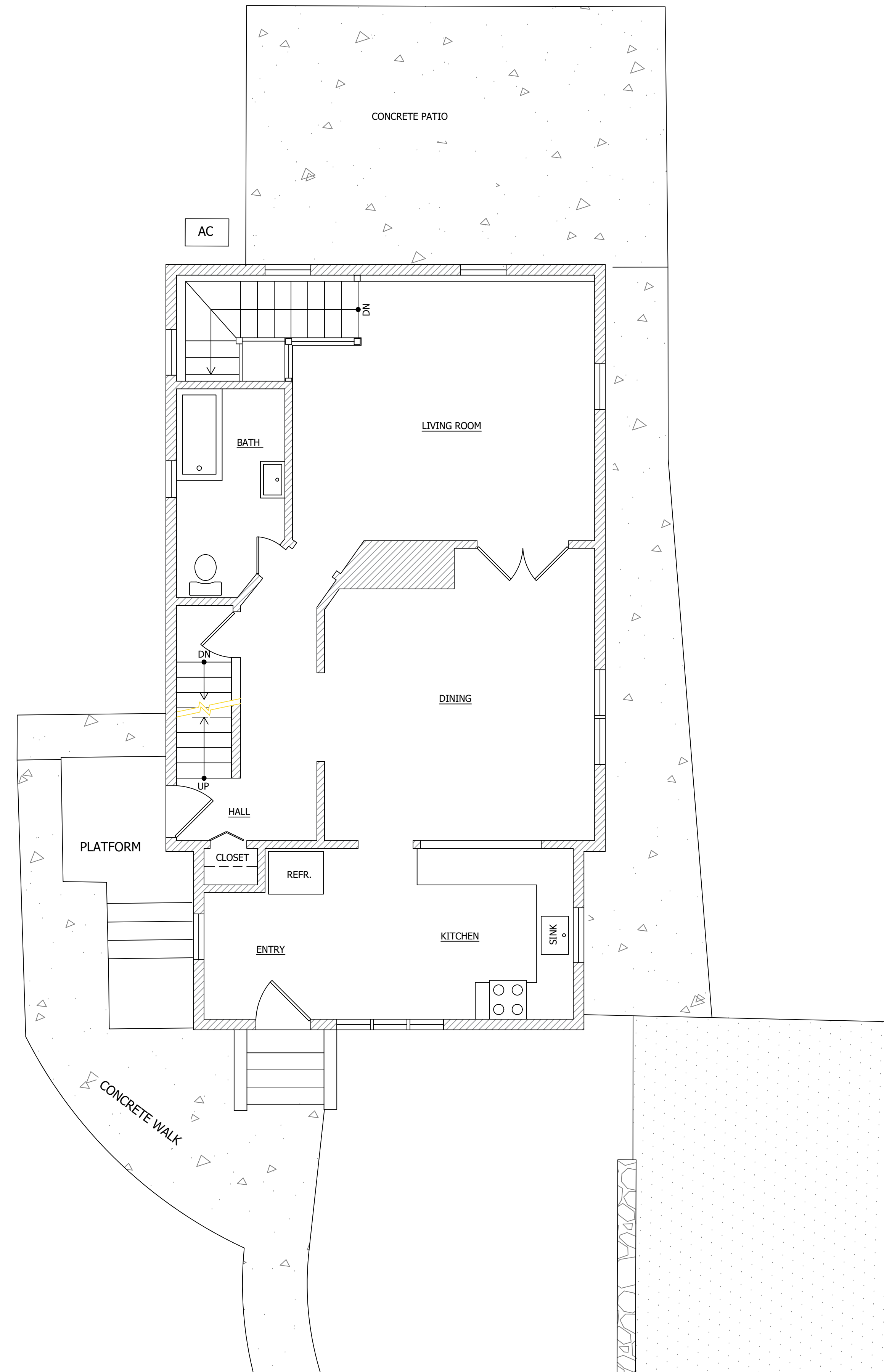
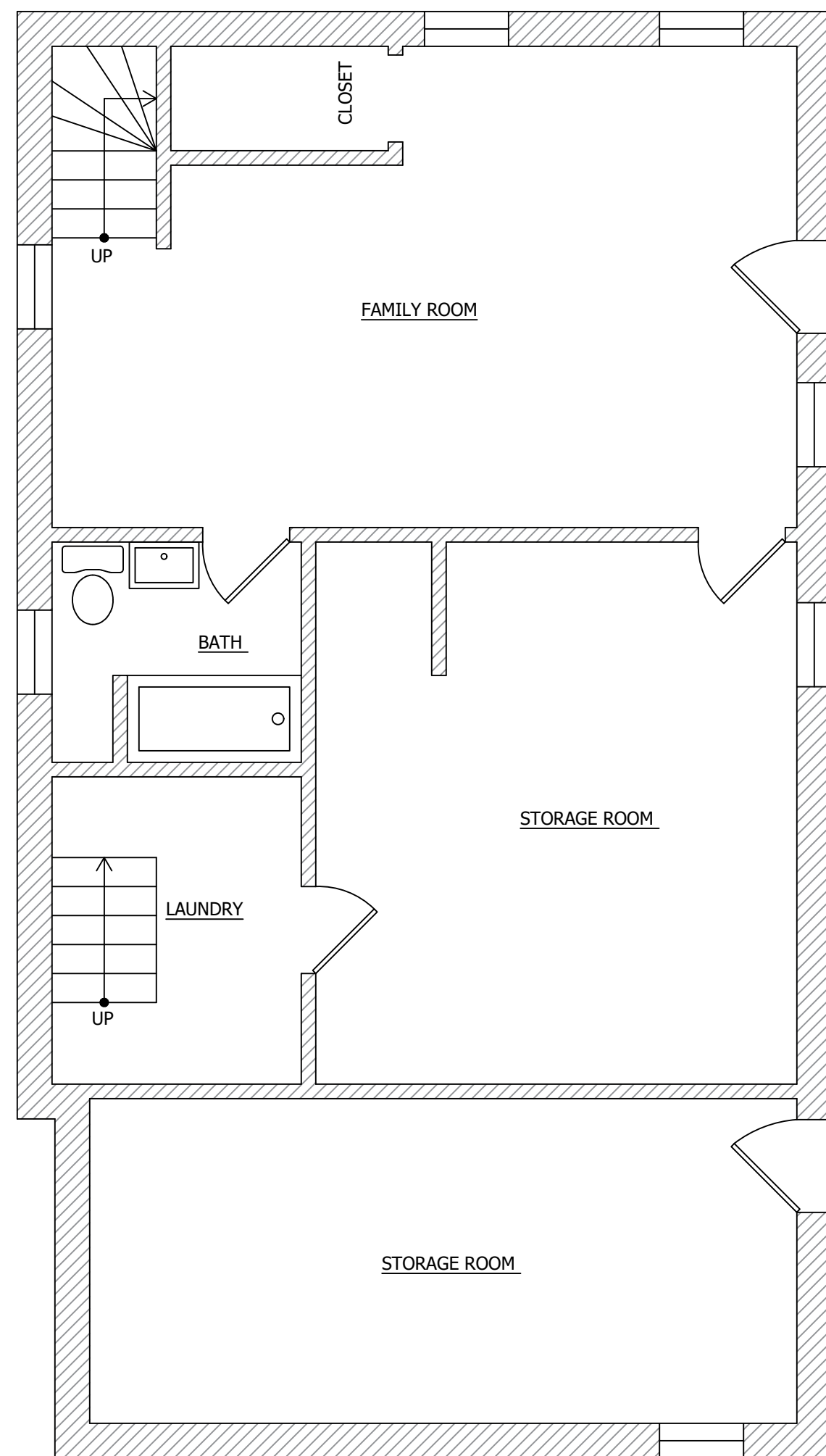
PLANNING BOARD APPROVAL
GRANTED 2/15/22

SHEET DESCRIPTION:
**EXISTING
BASEMENT & FIRST
FLOOR PLAN**

SHEET No.

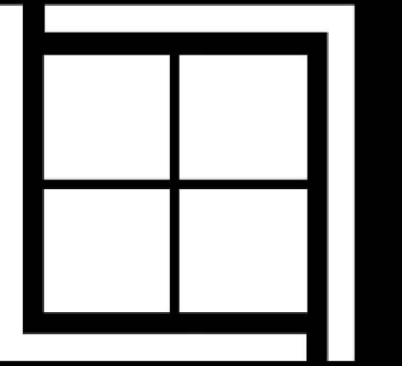
A-2

PHASE:



EXISTING BASEMENT FLOOR PLAN
SCALE : 1 / 4" = 1'-0"

EXISTING FIRST FLOOR PLAN
SCALE : 1 / 4" = 1'-0"



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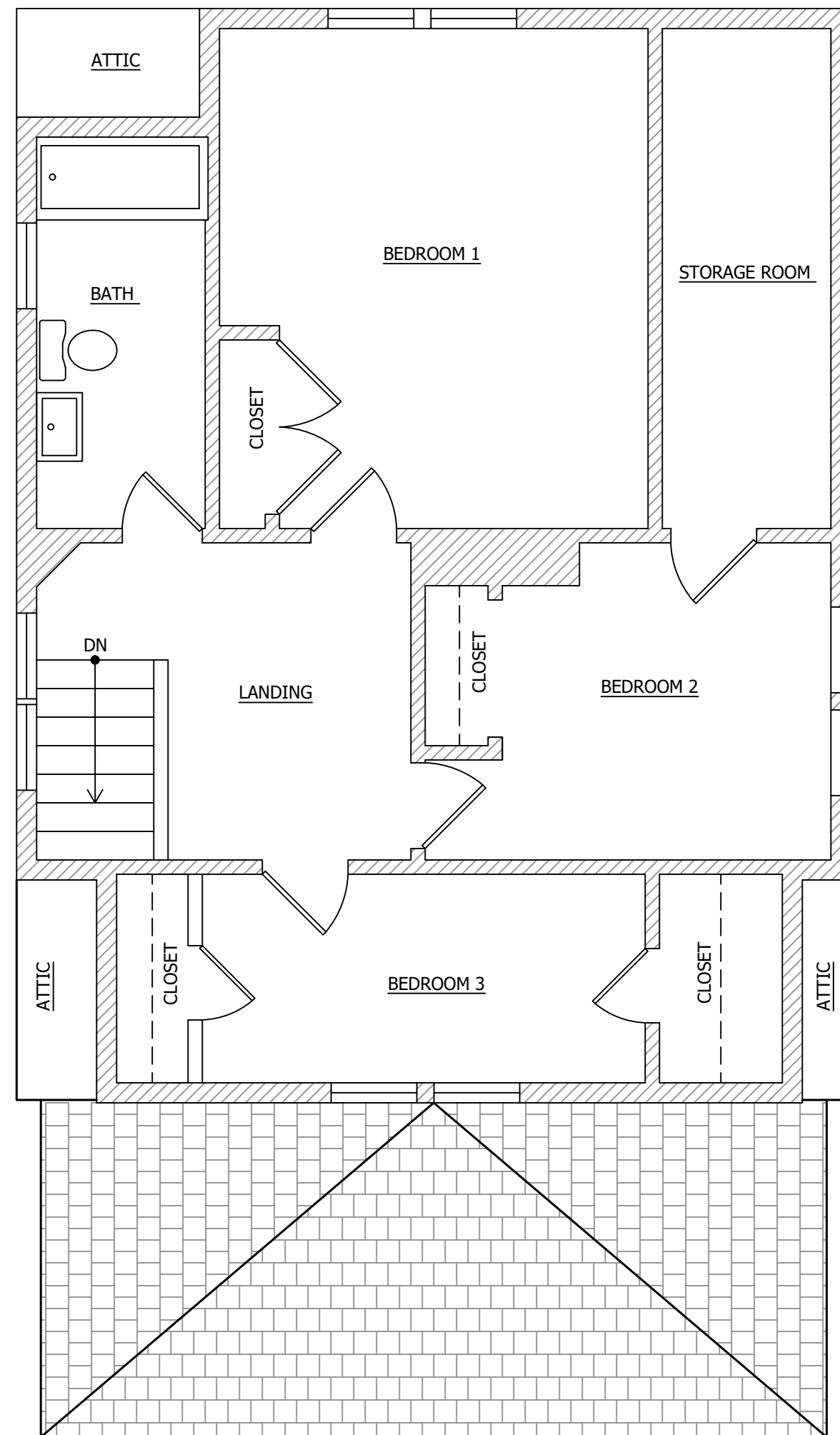
PLANNING BOARD APPROVAL
GRANTED 2/15/22

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**EXIST SECOND
FLOOR & ROOF
PLANS**

SHEET No.

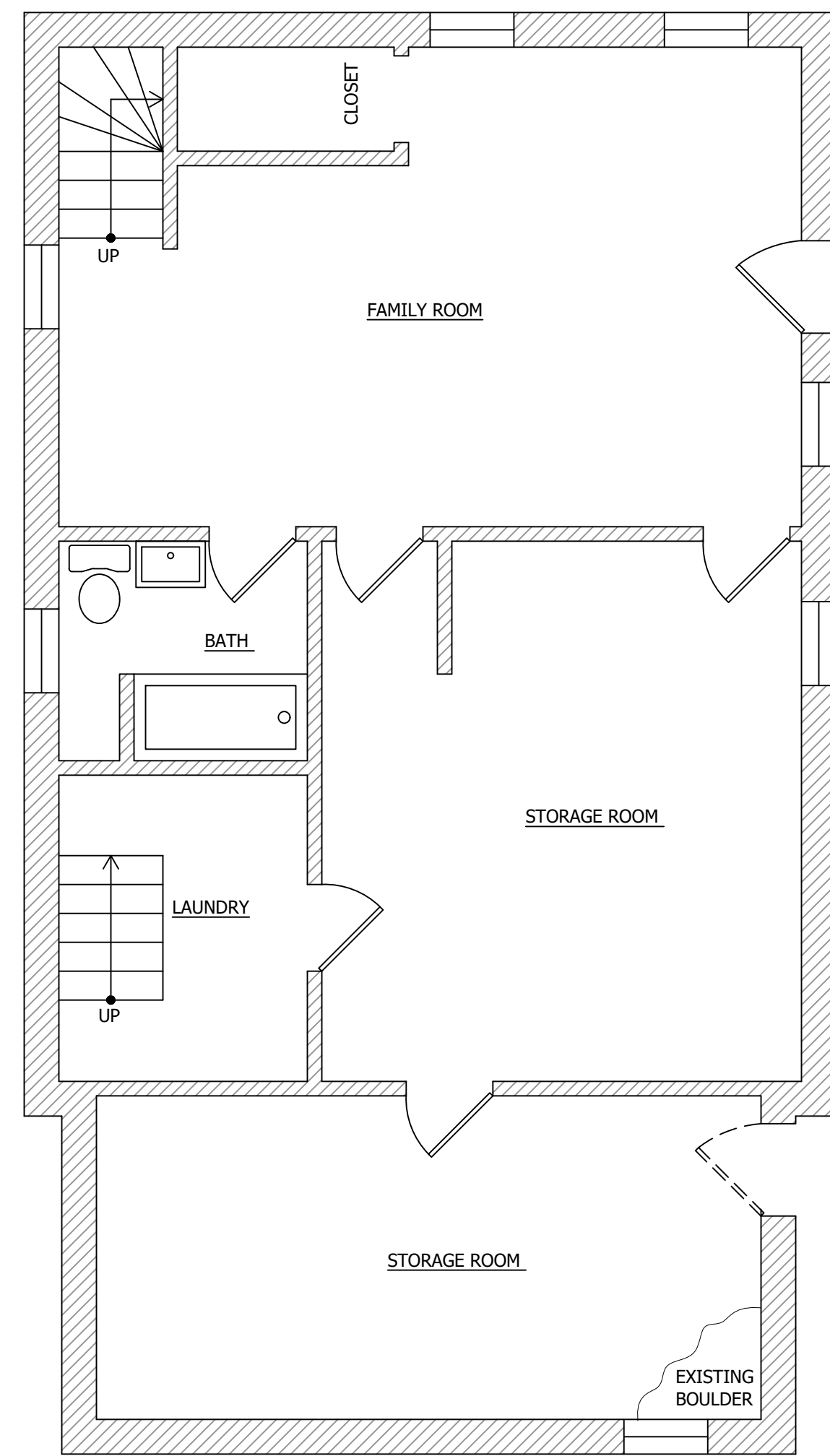
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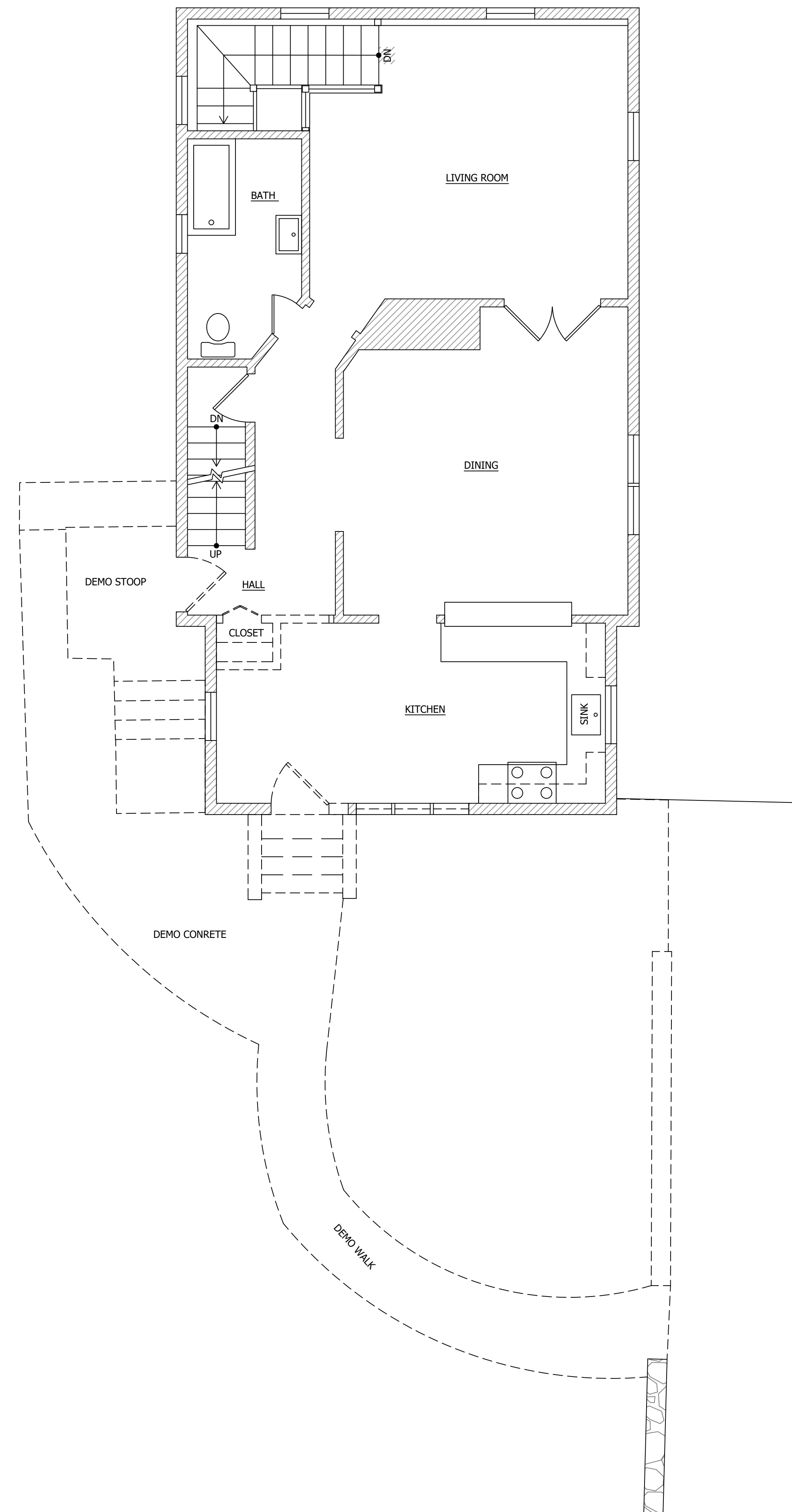


EXISTING SECOND FLOOR PLAN

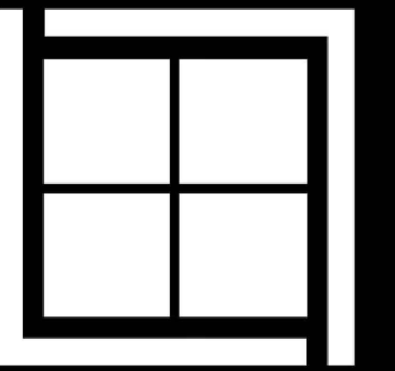
SCALE : 1 / 4" = 1'-0"



BASEMENT FLOOR DEMOLITION PLAN
SCALE : 1 / 4" = 1'-0"



FIRST FLOOR DEMOLITION PLAN
SCALE : 1 / 4" = 1'-0"



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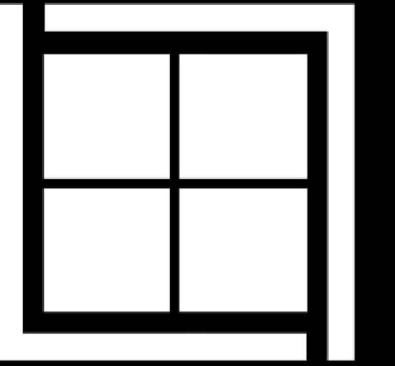
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DEMOLITION PLANS

SHEET No.

A-4

PHASE:



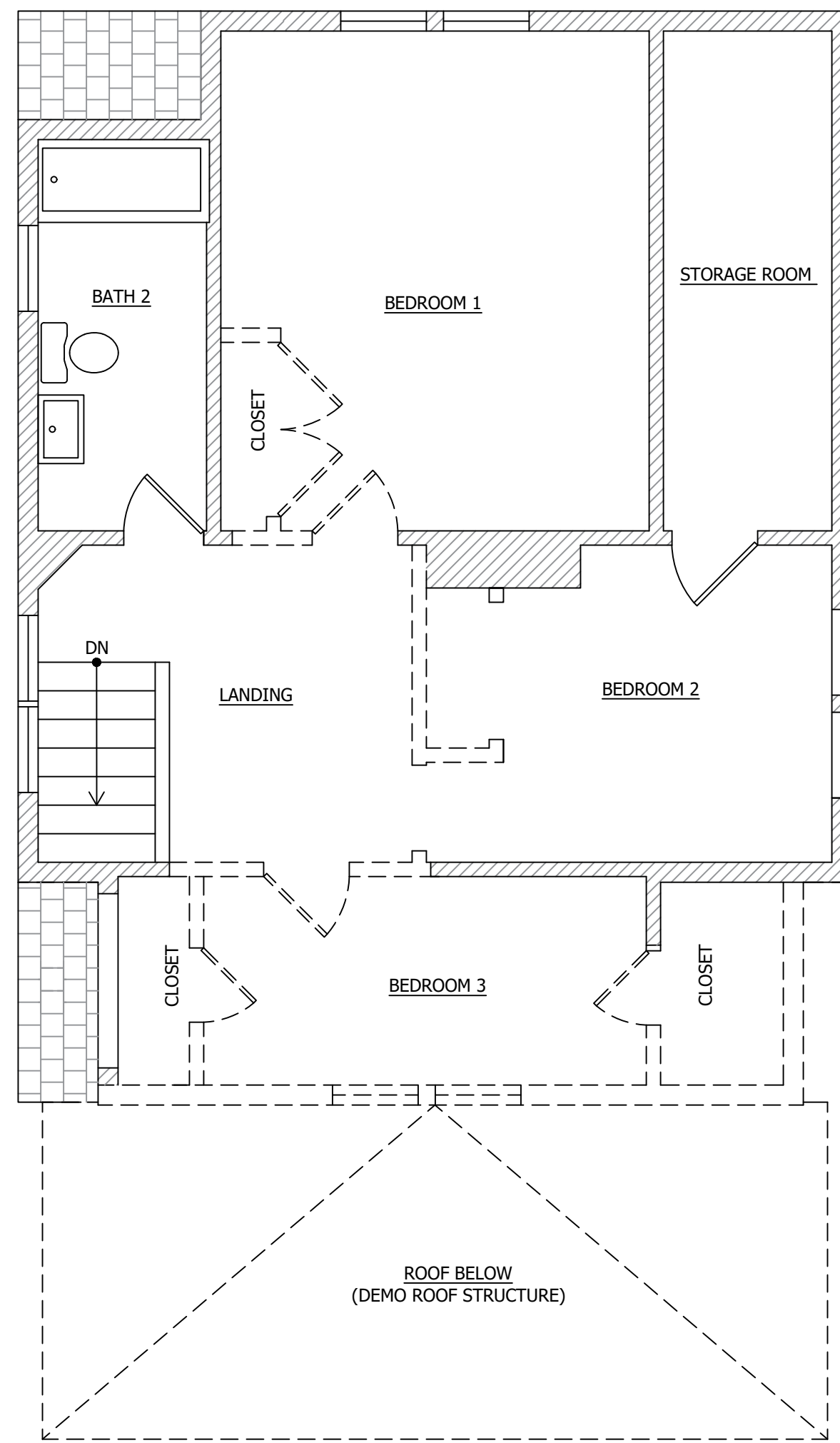
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SECOND FLOOR DEMOLITION PLAN
SCALE : 1 / 4" = 1'-0"

ROOF DEMOLITION PLAN
SCALE : 1 / 4" = 1'-0"

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RESIDENCE

ADDITION AND
RENOVATIONS

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SHEET DESCRIPTION:

DEMOLITION
ROOF PLAN

SHEET No.

A-5

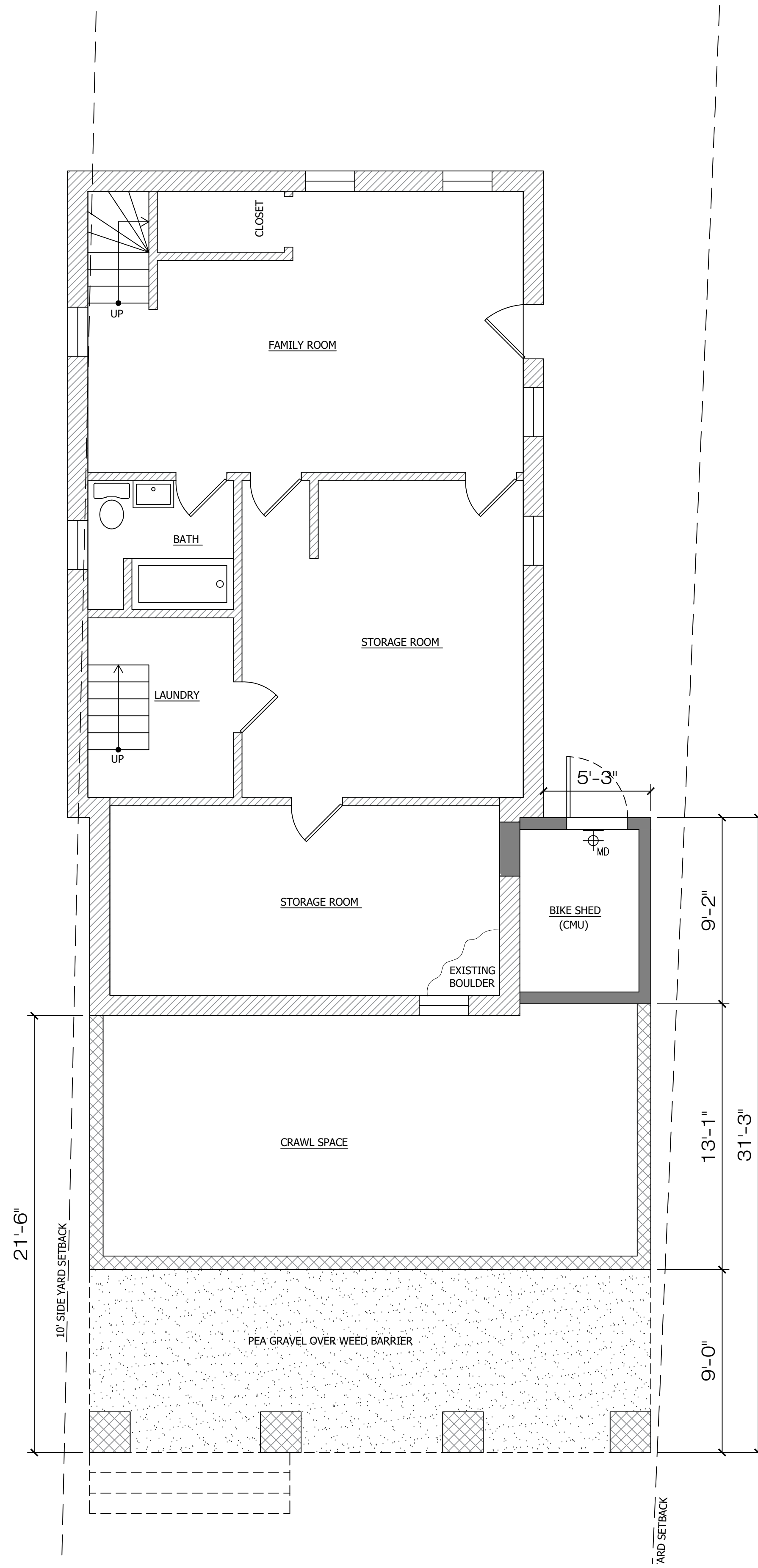
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STRUCTURAL GENERAL NOTES

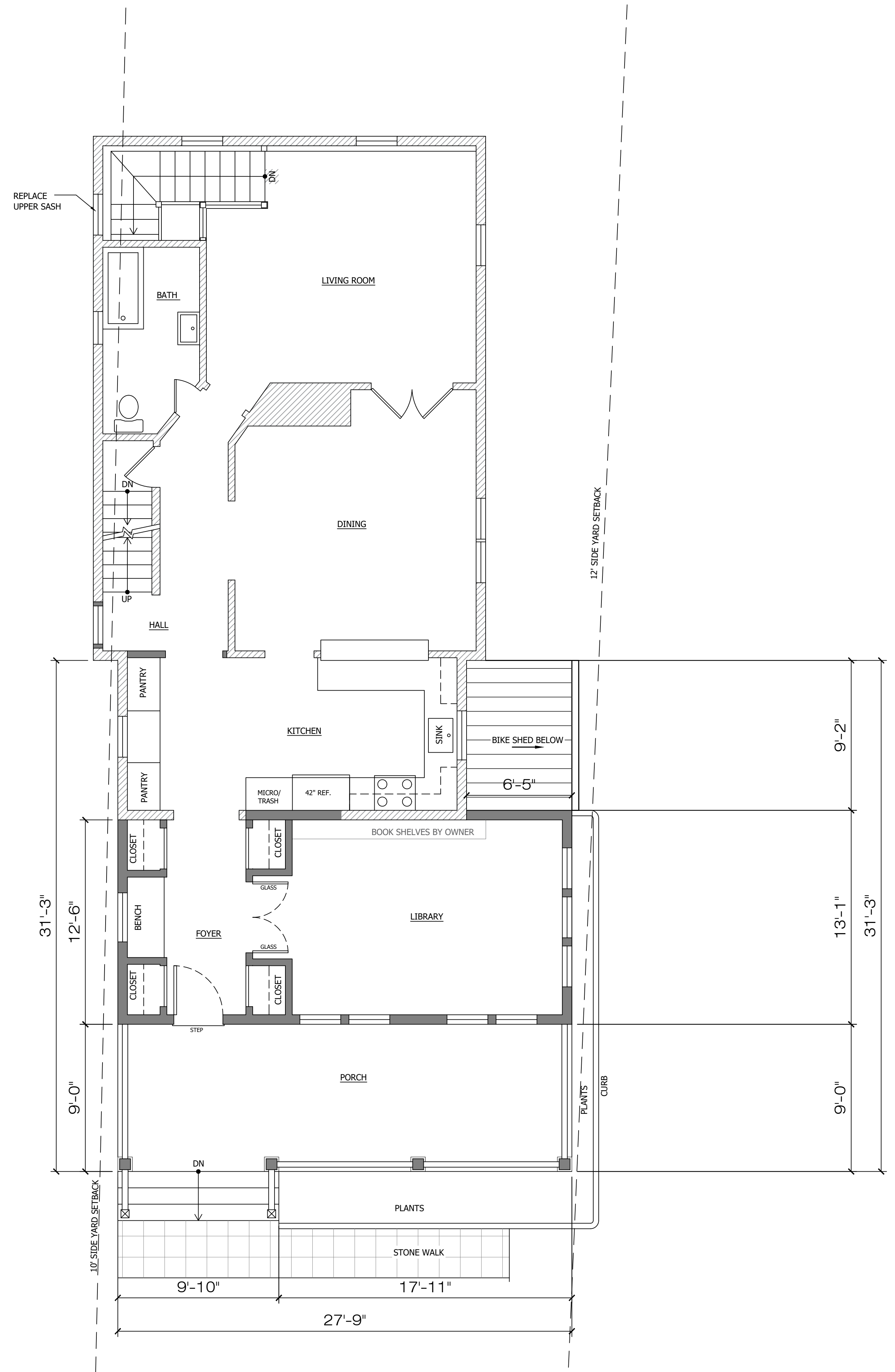
1. PROVIDE (2)2X10 HEADERS AT ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED.
2. FRAMING PLANS FOR ILLUSTRATIVE PURPOSES ONLY. NOT ALL MEMBERS SHOWN.
3. PROVIDE 3" MINIMUM BEARING AT ALL BEAMS.
4. PROVIDE 1 1/2" MINIMUM BEARING AT ALL HEADERS.
5. ALL EXTERIOR WALLS TO BE 2X6 STUDS AT 16" O.C. (2X4 AT INTERIOR WALLS U.N.O.)
6. NOTCH COLUMNS AT EXTERIOR BEAMS (OR PROVIDE SIMPSON CONNECTORS).
7. MAINTAIN 6"-8" MINIMUM HEAD CLEARANCE AT ALL STAIRS
8. FIRE CAULK AT ALL FLOOR PENETRATIONS
9. ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR #2 (OR BETTER).
10. PROVIDE SIMPSON CONNECTORS AS REQUIRED AT BEAMS/COLUMNS
11. SISTER 2X6'S TO EXISTING CEILING JOISTS AS REQUIRED TO LEVEL CEILINGS

FLOOR PLAN SYMBOL LEGEND

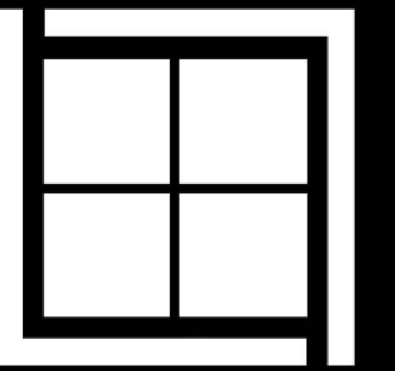
- (X) DOOR SYMBOL-SEE DOOR SCHEDULE
- (X) WINDOW SYMBOL-SEE WINDOW SCHEDULE
- EXISTING CONSTRUCTION
- NEW WOOD FRAMED WALLS
- 2X4 @ 16" O.C. @ INTERIOR WALLS
- 2X6 @ 16" O.C. @ EXTERIOR WALLS (R-19)
- (UNLESS NOTED OTHERWISE)



PROPOSED BASEMENT FLOOR PLAN
SCALE : 1 / 4" = 1'-0"



PROPOSED FIRST FLOOR PLAN
SCALE : 1 / 4" = 1'-0"



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RESIDENCE**

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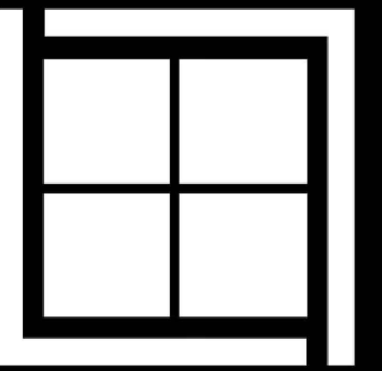
PLANNING BOARD APPROVAL
GRANTED 2/15/22

SHEET DESCRIPTION:
**PROPOSED
BASEMENT & FIRST
FLOOR PLAN**

SHEET No.

A-6

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VOL. PLANNING BOARD SUBMITTAL DEADLINE	2/03/2022
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ARCHITECTURAL REVIEW BOARD SUBMITTAL	3/16/2022
ARCHITECTURAL REVIEW BOARD MEETING	3/30/2022

LUNDQUIST RESIDENCE

ADDITION AND RENOVATIONS

68 Iselin Terrace
Larchmont
New York 10538

NOTES

PLANNING BOARD APPROVAL
GRANTED 2/15/22

SHEET DESCRIPTION:
PROPOSED SECOND FLOOR & ROOF PLAN

SHEET No.

A-7

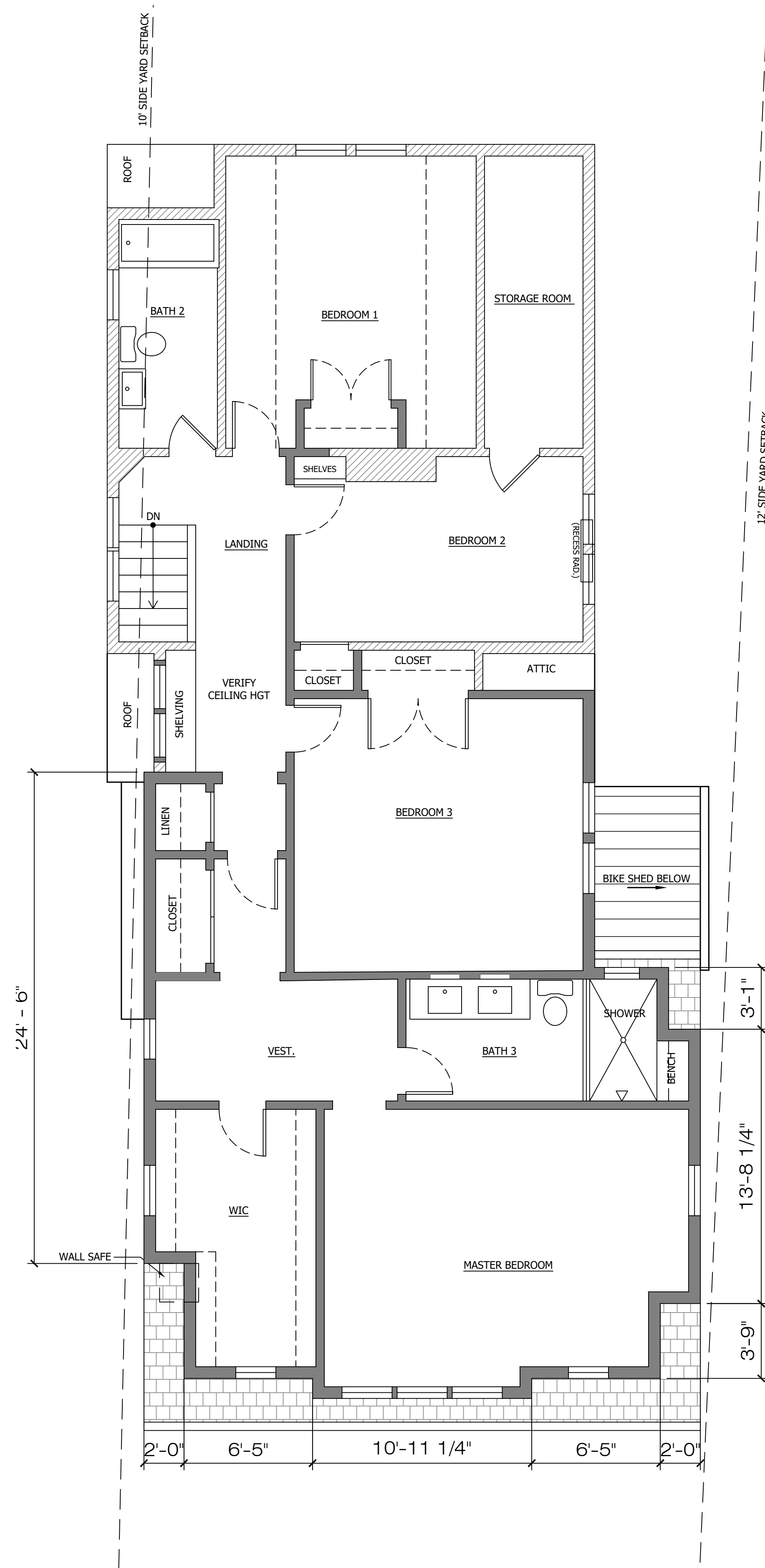
PHASE:

STRUCTURAL GENERAL NOTES

1. PROVIDE (2)2X10 HEADERS AT ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED.
2. FRAMING PLANS FOR ILLUSTRATIVE PURPOSES ONLY. NOT ALL MEMBERS SHOWN.
3. PROVIDE 3" MINIMUM BEARING AT ALL BEAMS.
4. PROVIDE 1 1/2" MINIMUM BEARING AT ALL HEADERS.
5. ALL EXTERIOR WALLS TO BE 2X6 STUDS AT 16" O.C. (2X4 AT INTERIOR WALLS U.N.O.)
6. NOTCH COLUMNS AT EXTERIOR BEAMS (OR PROVIDE SIMPSON CONNECTORS).
7. MAINTAIN 6"-8" MINIMUM HEAD CLEARANCE AT ALL STAIRS
8. FIRE CAULK AT ALL FLOOR PENETRATIONS
9. ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR #2 (OR BETTER).
10. PROVIDE SIMPSON CONNECTORS AS REQUIRED AT BEAMS/COLUMNS
11. SISTER 2X6'S TO EXISTING CEILING JOISTS AS REQUIRED TO LEVEL CEILINGS

FLOOR PLAN SYMBOL LEGEND

- (X) DOOR SYMBOL-SEE DOOR SCHEDULE
- (X) WINDOW SYMBOL-SEE WINDOW SCHEDULE
- EXISTING CONSTRUCTION
- NEW WOOD FRAMED WALLS
- 2X4 @ 16" O.C. @ INTERIOR WALLS
- 2X6 @ 16" O.C. @ EXTERIOR WALLS (R-19)
(UNLESS NOTED OTHERWISE)



PROPOSED SECOND FLOOR PLAN

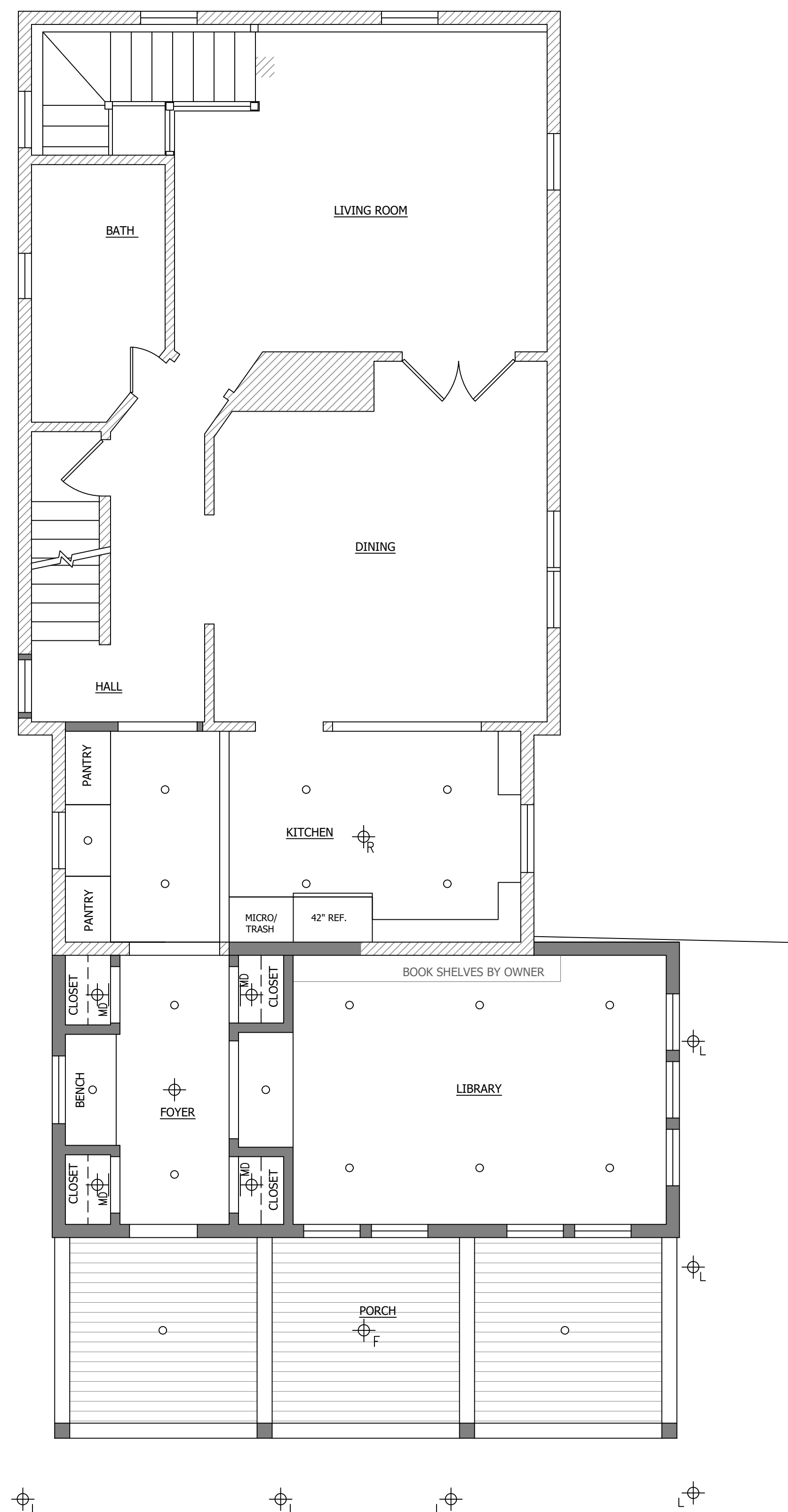
SCALE : 1 / 4" = 1'-0"

ELECTRICAL LEGEND

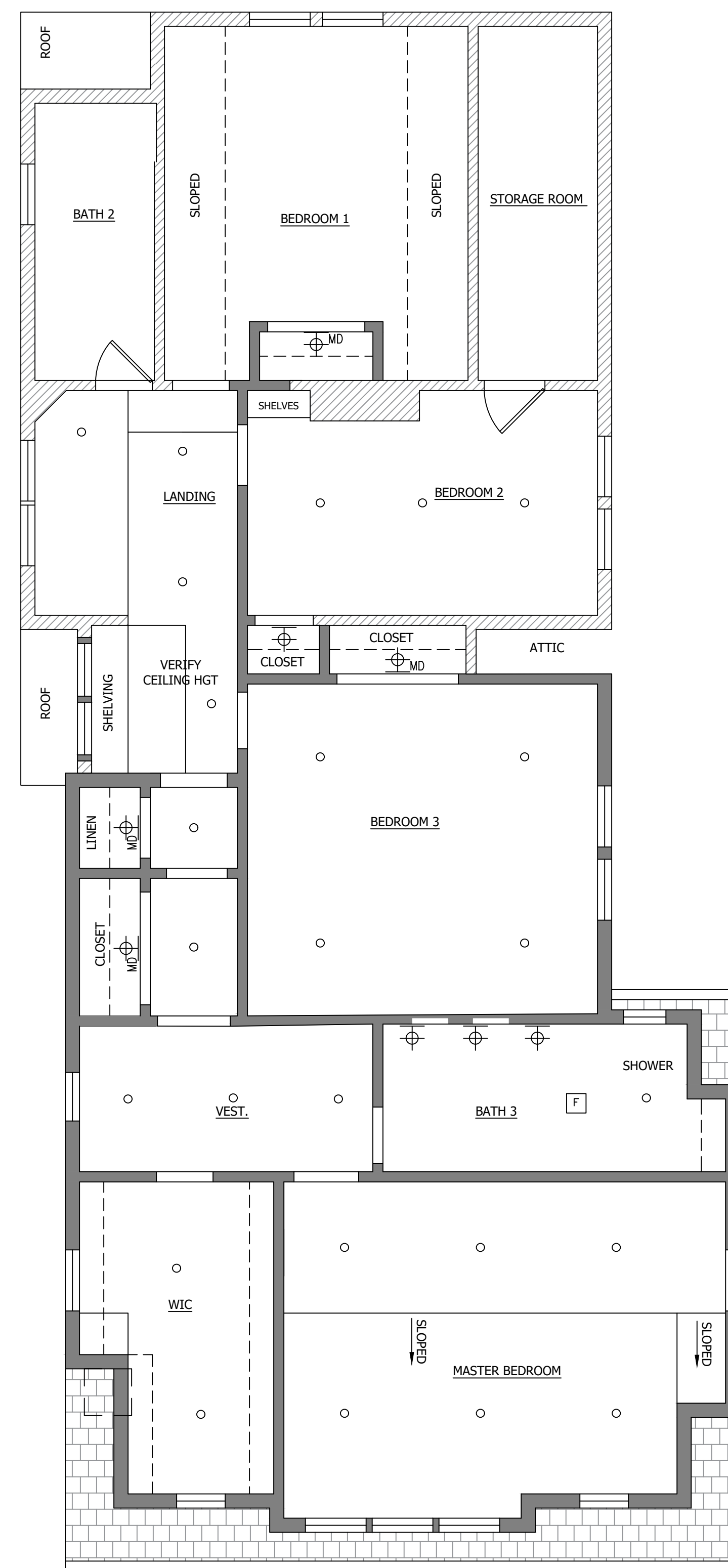
	CEILING MOUNTED PENDANT FIXTURE * VERIFY LOCATION WITH OWNER		DECORA LIGHT SWITCH
	CEILING MOUNTED FAN OR FAN/LIGHT * VERIFY LOCATION WITH OWNER		DIMMER LIGHT SWITCH
	CEILING MOUNTED LIGHT *		DECORA LIGHT SWITCH, 3-WAY
	WALL SCONCE *		DECORA LIGHT SWITCH, 4-WAY
	4" RECESSED LED DOWNLIGHT		DECORA DUPLEX OUTLET
	CATV OUTLET		EXHAUST FAN-VENT TO OUTSIDE
	NEW 200 AMP ELECTRICAL PANEL		SMOKE DETECTOR
	PHONE JACK		CARBON MONOXIDE DETECTOR
	MOTION DETECT		UNDERCABINET LED LIGHTING
	LED CABINET LIGHT		LED IN-WALL EXTERIOR SCONCE *
	CATV OUTLET		LANDSCAPE UPLIGHTING *
	5.25" BEADBOARD CEILING		RELOCATE EXISTING THERMOSTAT
			LANDSCAPE LIGHTING

GENERAL LIGHTING / ELECTRICAL NOTES

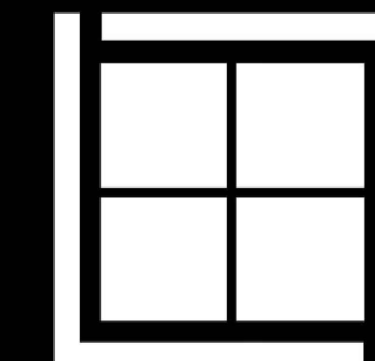
1. CENTER LIGHTS AND FAN/LIGHT J-BOXES IN ROOMS.
2. CENTER OUTLETS ON WALLS OR UNDER WINDOWS.
3. PROVIDE INDEPENDENT CIRCUITS (OR SUB-PANEL) AS REQUIRED BY CODE.
4. SPACE DOWNLIGHTS EQUALLY ALONG LINE OF DOWNLIGHTS.
5. HARD WIRE, BATTERY BACKUP AND INTERCONNECTED SMOKE + CARBON MONOXIDE DETECTORS.
6. PROVIDE SMOKE AND CARBON MONOXIDE DETECTORS ON EACH FLOOR.
7. PROVIDE SMOKE DETECTORS IN ALL BEDROOMS.
8. PROVIDE NEW GFCI OUTLETS AT ALL WET LOCATIONS.
9. OWNER TO PROVIDE ALL SURFACE AND PENDANT MOUNTED FIXTURES (SEE * ABOVE) AND TO BE INSTALLED BY THE CONTRACTOR.
10. PROVIDE SAMPLE OF DIMMER AND DOWNLIGHT TO OWNER PRIOR TO INSTALLATION.
11. SEE FLOOR PLANS FOR KITCHEN APPLIANCE LOCATIONS.
12. PROVIDE WEATHERPROOF GFI OUTLETS AT ALL EXTERIOR LOCATIONS.
13. ALL OUTLETS, SWITCHES, ETC TO BE DECORA STYLE.
14. FIRE CAULK ALL FLOOR PENETRATIONS.
15. PROVIDE 6 DIMMERS FOR OWNER'S DISCRETIONARY LOCATION



FIRST FLOOR RCP/ELECTRICAL PLAN
SCALE : 1 / 4" = 1'-0"



SECOND FLOOR RCP/ELECTRICAL PLAN
SCALE : 1 / 4" = 1'-0"



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LUNDQUIST
RESIDENCE

ADDITION AND
RENOVATIONS

68 Iselin Terrace
Larchmont
New York 10538

NOTES

PLANNING BOARD APPROVAL
GRANTED 2/15/22

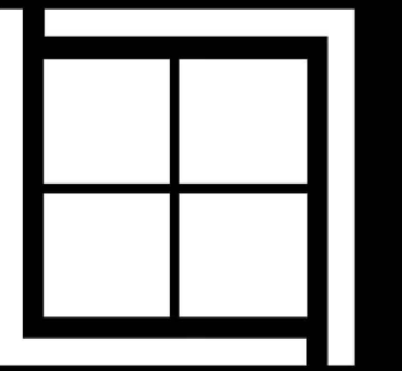
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PROPOSED FIRST &
SECOND FLOOR REFLECTED
CEILING & ELECTRICAL
PLAN

SHEET No.

A-8

PHASE:



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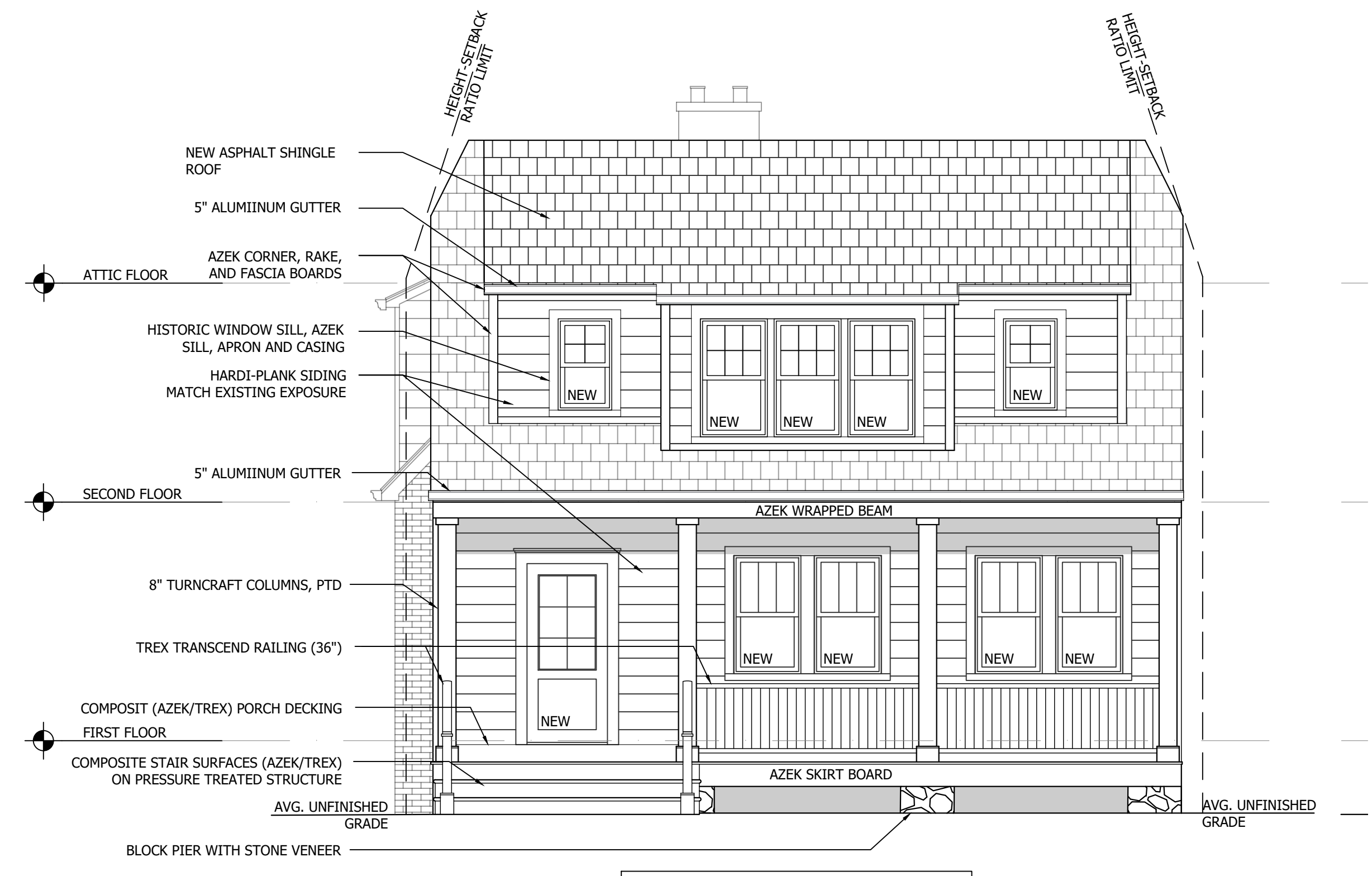
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EXISTING FRONT ELEVATION
SCALE : 1 / 4" = 1'-0"



PROPOSED FRONT ELEVATION
SCALE : 1 / 4" = 1'-0"

ALL NEW TRIM TO BE COMPOSITE (AZEK OR SIMILAR)
ALL NOTES TYPICAL FOR EACH ELEVATION

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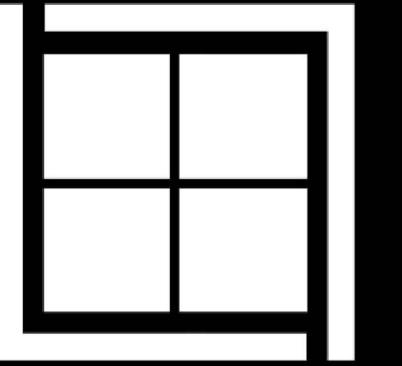
SHEET DESCRIPTION:

FRONT ELEVS

SHEET No.

A-9

PHASE:



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SHEET DESCRIPTION:

RIGHT ELEVS

SHEET No.

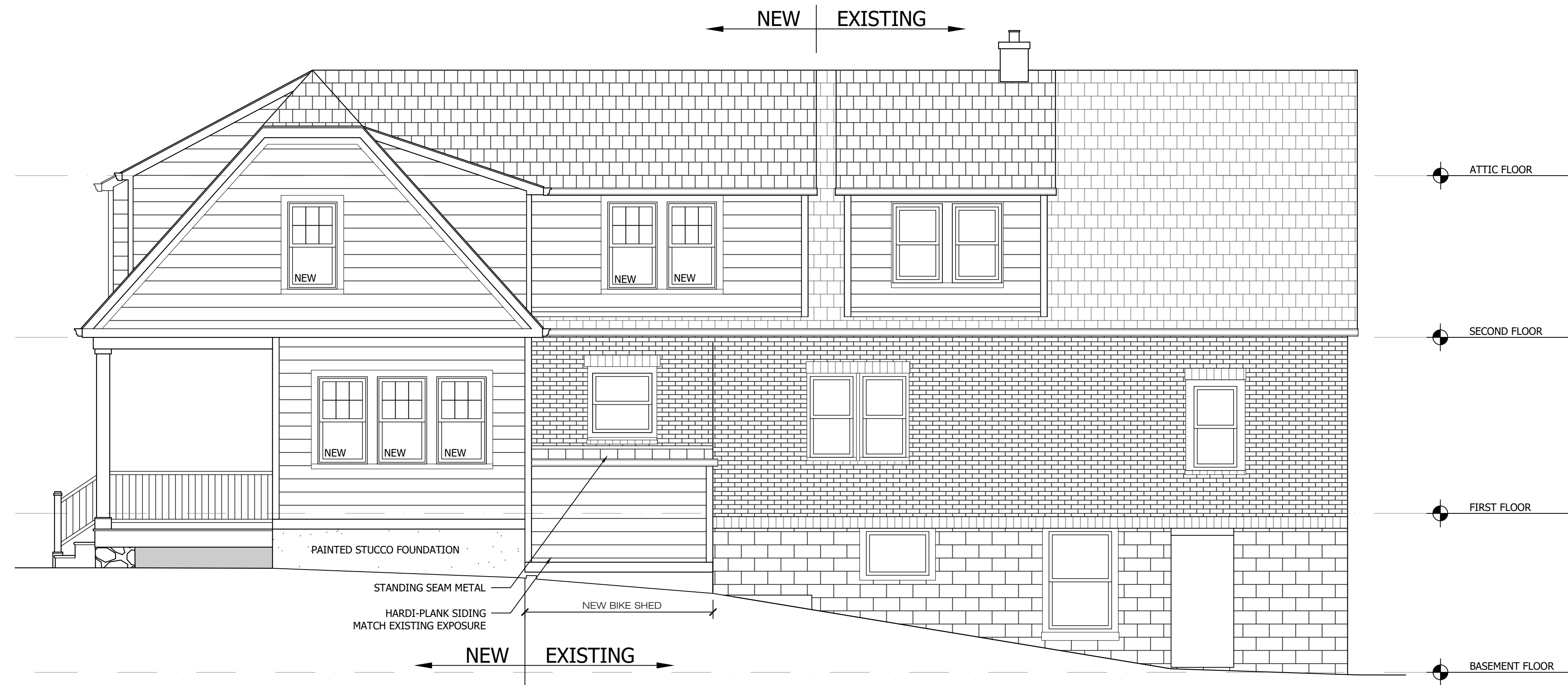
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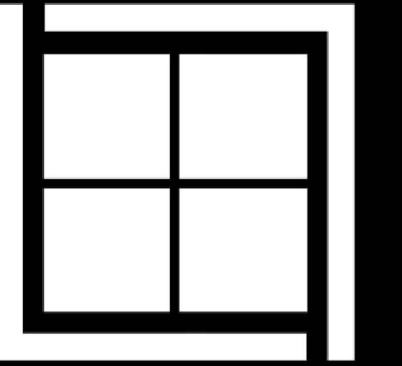
EXISTING RIGHT SIDE ELEVATION

SCALE : 1 / 4" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION

SCALE : 1 / 4" = 1'-0"



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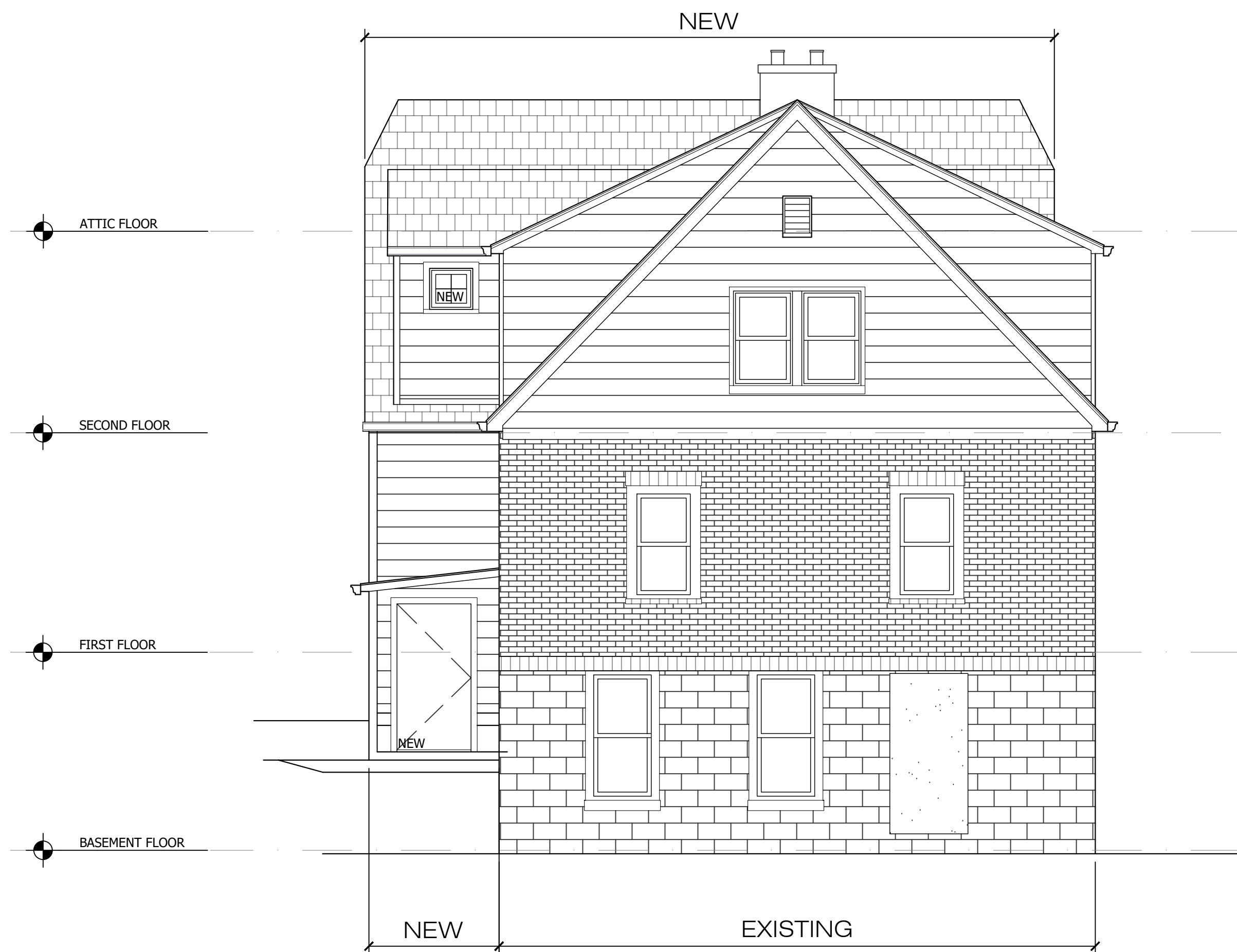
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EXISTING REAR ELEVATION
SCALE : 1 / 4" = 1'-0"



PROPOSED REAR ELEVATION
SCALE : 1 / 4" = 1'-0"

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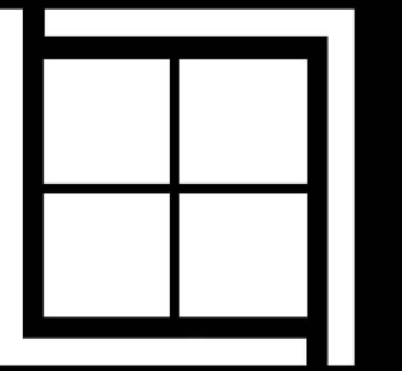
SHEET DESCRIPTION:

REAR ELEVS

SHEET No.

A-11

PHASE:



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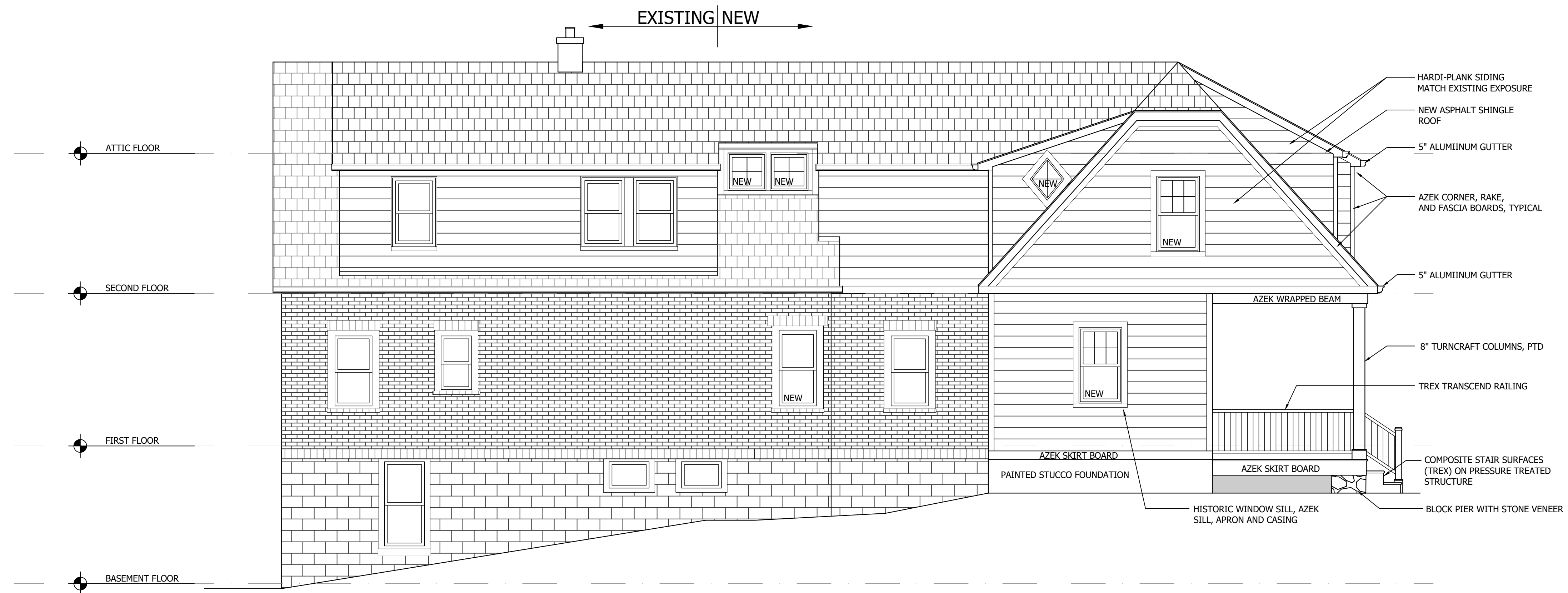
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EXISTING LEFT SIDE ELEVATION

SCALE : 1 / 4" = 1'-0"



PROPOSED LEFT SIDE ELEVATION

SCALE : 1 / 4" = 1'-0"

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Larchmont
New York 10538

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SHEET DESCRIPTION:

LEFT ELEVS

SHEET No.

A-12

PHASE:
